

MONTGOMERY COUNTY PLANNING COMMISSION
MAY 14, 2014 @ 7:30 P.M.
Board Room, Government Center
755 Roanoke Street, Christiansburg, VA

REVISED AGENDA

CALL TO ORDER:

DETERMINATION OF A QUORUM:

APPROVAL OF AGENDA:

APPROVAL OF CONSENT AGENDA:

PUBLIC ADDRESS:

PUBLIC HEARING:

1. A request by the City of Radford (Agent: Verizon Wireless) for a Special Use Permit (SUP) on approximately 100 acres in an Agricultural (A-1) zoning district to allow a 199 ft. monopole telecommunications tower. The property is located at 5480 Peterson Drive and is identified as Tax Parcel No. 102-A 16, 17 (Account No. 071097) in the Riner Magisterial District (District D). The property currently lies in an area designated as Rural in the 2025 Comprehensive Plan.

Public hearing continued from April 9, 2014.

- a) Staff Presentation (Dari Jenkins)
 - b) Applicant Presentation
 - c) Public Comment
 - d) Discussion/Action
2. A request by Montgomery County Board of Supervisors and Taylor Hollow Management (Agent: Balzer & Associates) for rezoning of approximately 3.328 acres from Agriculture (A1) to Traditional Neighborhood Development-Infill (TND-I) for multi-family residential and limited commercial uses, and 5.00 acres from Agriculture (A1) to Residential Multi-Family (RM-1), with possible proffered conditions, to allow multi-family residential uses. In addition, a special use permit (SUP) is requested in the Traditional Neighborhood Development-Infill (TND-I) District to allow senior housing and a farm market. The property is known as the former Prices Fork Elementary School and is located at 4237 Prices Fork Road, identified as Tax Parcel No. 052-A-50, (Acct No. 070688), in the Prices Fork Magisterial District (District E). The property currently lies in an area designated as Village Expansion in the Comprehensive Plan and Mixed Use in the Prices Fork Village Plan with a maximum density of four (4) dwelling units per acre.
 - a) Staff Presentation (Brea Hopkins)
 - b) Applicant Presentation
 - c) Public Comment
 - d) Discussion/Action

OLD BUSINESS:

NEW BUSINESS:

MEETING ADJOURNED:

UPCOMING MEETINGS:

- | | | |
|------|----------|---------------------------------------------------------------------------------------------------|
| May | 21, 2014 | Planning Commission Public Hearing (7:00 PM) |
| May | 28, 2014 | NRVPDC Planning Commission Training Dinner (6:00 PM) New River Valley Business Center, Radford |
| June | 11, 2014 | Planning Commission Public Hearing (7:00 PM) |
| June | 18, 2014 | Planning Commission Regular Meeting (TBD) |

**MONTGOMERY COUNTY PLANNING COMMISSION
REVISED CONSENT AGENDA
MAY 14, 2014**

A. APPROVAL OF MINUTES

- April 9, 2014

ISSUE/PURPOSE:

The above listed minutes are before the Planning Commission for approval.

AT A MEETING OF THE MONTGOMERY COUNTY PLANNING COMMISSION ON APRIL 9, 2014 IN THE BOARD ROOM, SECOND FLOOR, COUNTY GOVERNMENT CENTER, CHRISTIANSBURG, VIRGINIA:

CALL TO ORDER:

Mr. Rice, Chair, called the meeting to order.

DETERMINATION OF A QUORUM:

Ms. Disney established the presence of a quorum.

Present: Bryan Rice, Chair
Frank Lau, Vice-Chair
Cindy W. Disney, Secretary
Coy Allen, Member
Joel Donahue, Member
Bryan Katz, Member
Scott Kroll, Member
Trey Wolz, Member
Chris Tuck, Board of Supervisors Liaison
Karen Drake, Planning Director
Brea Hopkins, Development Planner
Dari Jenkins, Planning & Zoning Administrator
Erin Puckett, Senior Program Assistant

Absent: Sonia Hirt, Member

APPROVAL OF AGENDA:

On a motion by Mr. Donahue, and seconded by Mr. Kroll, and unanimously carried the agenda was approved, with a modification to add discussion of Route 603 future land use under Old Business.

APPROVAL OF CONSENT AGENDA:

On a motion by Ms. Disney, and seconded by Mr. Katz, and unanimously carried the consent agenda was approved.

PUBLIC ADDRESS:

Mr. Rice opened the public address, however, there being no comments the public address was closed.

PUBLIC HEARING:

A request by the City of Radford (Agent: Verizon Wireless) for a Special Use Permit (SUP) on approximately 100 acres in an Agricultural (A-1) zoning district to allow a 199 ft. monopole telecommunications tower. The property is located at 5480 Peterson Drive and is identified as Tax Parcel No. 102-A 16, 17 (Account No. 071097) in the Riner Magisterial District (District D). The property currently lies in an area designated as Rural in the 2025 Comprehensive Plan.

Ms. Jenkins stated that she had provided the applicant with a list of items of concern, one being the location of the balloon test and the actual tower. The applicant has requested a deferral to allow time to address those

concerns. She added that the site of the tower has been flagged since the site visit, and is closer to the interstate than the location the Planning Commission was shown at that time.

Mr. Rice opened the public hearing for any citizens in attendance who desired to comment. However, there being no comments, Mr. Rice stated that the public hearing would be continued to May 14, 2014.

On a motion by Mr. Kroll and seconded by Mr. Donahue and unanimously carried, the public hearing was continued to May 14, 2014.

A request by P&G Ventures (Agent: Meade Tractor) for a Special Use Permit (SUP) on approximately 4.65 acres in a General Business (GB) zoning district to allow farm machinery sales and service. The property is located at 3963 South Main Street and is identified as Tax Parcel No. 67-A 161 (Account No. 006298) in the Shawsville Magisterial District (District B). The property currently lies in an area designated as Urban Expansion in the 2025 Comprehensive Plan.

Mr. Rice introduced the request.

Mr. Tuck stated a potential conflict of interest related to this request and recused himself from this public hearing.

Ms. Puckett stated the request was for a SUP to allow farm machinery sales and service. She reviewed the maps of the property, future land use designation, surrounding property zoning and uses, and photos of the property, along with drawings submitted by the applicant. She noted that any signage and landscaping would require approval by the Planning Department prior to installation. The proposed use will utilize an existing building and existing entrance. VDOT has confirmed that the entrance is adequate for the proposed business. The PSA will provide water and sewer services to the property. A fence has been installed at the rear of the building for the storage of equipment. Additional landscaping may be required along the 460 corridor to provide additional buffering. Two property owners have contacted the department; however, did not voice any objections to the request. Ms. Puckett stated staff was recommending approval of the request with conditions.

Mr. Kroll noted the concept plan indicated there would be landscaping along the 460 bypass. During the March site visit there was discussion regarding landscaping that had not been maintained since the vacancy of the building.

Ms. Puckett stated the applicant has indicated it would be restored and additional landscaping would be added to improve the buffer along the 460 bypass.

Ms. Jenkins stated the property had significant landscaping; however, due to topography the trees had not grown to a height that provided an adequate buffer. All landscaping would be reviewed during the site plan/zoning permit process.

Mr. Katz noted concerns with a condition limiting storage containers on site.

Mr. Rice invited the applicant to speak.

Mr. David Duncan stated that the building in question was built in 2008 or 2009 as a Ford dealership, but for financial reasons the building has since been vacated. He spoke in favor of Mr. Meade's business, adding that Meade Tractor was a thriving business in the county.

Mr. Paul Duncan stated that as someone who has been in business in the county for 59 years, he is certain that Meade Tractor would be a great asset to this area of the county.

Mr. Chuck Meade, President of Meade Tractor, said that his company is located in Abingdon, Virginia and is a growing John Deere dealership. He stated that even though it is a farm machinery dealership, approximately 60% of the sales come from lawn and garden equipment and materials. He added that

should the SUP be approved, he will ensure a retail-friendly facility with curb appeal and a professional appearance.

Mr. Rice asked if the proposed condition number two (2) regarding temporary storage onsite was too restrictive for his purposes due to the way in which it was worded.

Mr. Meade said that it should not be unless it also regulates crates, which the tractors are shipped in.

Mr. Katz suggested language to indicate that shipping containers could not be used or stored onsite for more than one week.

Mr. Rice opened the public hearing.

Mr. Floyd Childress, local citizen, spoke on behalf of Meade Tractor, noting that the current site is well maintained and the new location would address a strong consumer and turf market in the area. He asked that the Commission vote in favor of approving the request.

There being no further comments. Mr. Rice closed the public hearing.

Mr. Rice opened the item for discussion among the Commission.

A motion was made by Mr. Katz seconded by Mr. Donahue to recommend approval of the request by P&G Ventures (Agent: Meade Tractor) for a Special Use Permit on 4.65 acres in a General Business (GB) zoning district to allow farm machinery sales and service with the following conditions:

1. Outdoor storage of materials and/or equipment awaiting repair shall be limited to the fenced area located on the southeastern side of the building, as indicated on the concept plan submitted with the application materials dated February 28, 2014. Screening of outdoor storage shall consist of privacy or chain link fencing. Privacy slats shall be inserted in chain link fencing to provide additional screening and security.
2. No storage containers used for shipping purposes, nor truck compartments or semi-trailers shall be stored or otherwise used on the premises for a period of more than one (1) week.
3. Exterior lighting shall comply with Section 10-46(9) of the Montgomery County Code.
4. Signage for the site shall be compliant with Section 10-45 of the Montgomery County Code. Banners and/or other signage shall not be installed or mounted on any fence.
5. Site shall be substantially in conformance with the concept plan submitted with the application materials dated February 28, 2014.
6. Approval of a new or revised site plan is required prior to obtaining a building permit.

Ayes: Rice, Lau, Disney, Allen, Donahue, Katz, Kroll, Wolz

Nays: None

Abstain: None

OLD BUSINESS:

Mr. Kroll reminded the Commission that they spoke several meetings ago about infrastructure improvements and VDOT projects along the Route 603 corridor. There was discussion at that time about possibly reviewing the future land use plan in that area. The proposed realignment may need to be examined to determine if the Planning Commission thinks it will warrant future land use changes.

Mrs. Hopkins explained that this is still on staff's to do list but as Ms. Drake has just come on as Planning Director, it has not been discussed further as of yet.

Mr. Kroll asked if the future land use changes could only be initiated twice a year.

Mrs. Hopkins said that while citizens can only request changes twice a year in February and August, the Planning Commission can initiate a change at any time.

Ms. Drake added that she will be working on a manageable work plan to take all projects into account.

NEW BUSINESS:

Mr. Rice stated that he wished to get the Commission's opinion as to possibly expanding the areas where a contractor's storage yard may be located, as it is currently only allowed in A-1 and M-1 by SUP. He asked if the GB and/or CB district may also be a good fit.

Ms. Jenkins said that staff and the Commission could look at that use. However, she also warned that due to the large outdoor storage area normally associated with such a use, these storage yards could cause negative impacts if located next to offices, smaller businesses, etc.

Mr. Rice commented that if they were allowed only by SUP, they could still be limited as to where they could be approved.

LIAISON REPORTS:

- Board of Supervisors – Mr. Tuck reported that the meeting scheduled with the Town of Blacksburg had been rescheduled for April 29. The agenda will include fire and rescue discussion, park and ride issues, and a discussion of the old Blacksburg High School site.
- Agriculture & Forestal District Committee – No report.
- Blacksburg Planning Commission – No report.
- Christiansburg Planning Commission – Ms. Disney reported that the Town of Christiansburg has an issue regarding a lawn business operating out of a residence, storing equipment on site and adding new commercial buildings. They are working with the owners to find a solution.
- Economic Development Committee – No report.
- Public Service Authority – Mr. Donahue reported that he attended both the March 3 and April 7 meeting. The PSA has switched the water for the Radford Army Ammunition Plant to the New River Valley Authority. Per the Capital Plan, approximately 9-10 water mains will be added in the county to meet the joinder agreement.
- Parks & Recreation – No report.
- Radford Planning Commission – No report.
- School Board – Mr. Katz reported that the main discussion was in regards to the \$3.9 M budget shortfall. Many citizens expressed their concern.
- Tourism Council – No report.
- Planning Director's Report – Ms. Drake stated that she is looking forward to working with the Planning Commission and thanked the Commission and staff for their hard work. She announced that the NRVPDC annual Planning Commission training dinner would be held on May 28. Staff will send a reminder email to get a head count for registration.

Mr. Rice welcomed Trey Wolz to the Planning Commission.

MEETING ADJOURNED:

There being no further business the meeting was adjourned at 8:18 PM.



MONTGOMERY COUNTY DEPARTMENT OF
PLANNING & GIS SERVICES

PLANNING
GIS & MAPPING

755 ROANOKE STREET, SUITE 2A, CHRISTIANSBURG, VIRGINIA 24073-3177

MEMORANDUM

TO: Planning Commission
FROM: Dari Jenkins, Planning & Zoning Administrator
DATE: May 7, 2014
FOR: May 14, 2014 Public Hearing
RE: **Staff Analysis (SU-2014-11582)**

A handwritten signature in blue ink, appearing to be "DJ", is written over the "FROM" line of the memorandum.

A request by the **City of Radford (Agent: Verizon Wireless)** for a Special Use Permit (SUP) on approximately 100 acres in an Agricultural (A-1) zoning district to allow a 199 ft. monopole telecommunications tower. The property is located at **5480 Peterson Drive** and is identified as Tax Parcel No. 102-A 16, 17 (Acct No. 071097) in the Riner Magisterial District (District D). The property currently lies in an area designated as Rural in the 2025 Comprehensive Plan.

I. Nature of Request

The City of Radford (Agent: Verizon Wireless) is requesting a Special Use Permit (SUP) to allow a 199 ft. telecommunication tower in an Agricultural (A-1) zoning district. This request is made on behalf of Verizon Wireless to enhance network coverage for Interstate 81, the nearby secondary roads, network coverage for emergency responders, business operations in the area, and residents in the area. More detailed information on proposed coverage area is depicted in maps submitted by the applicant on February 7, 2014.

II. Location

The property is located at 5480 Peterson Drive, approximately 1,400 feet east of the end of state maintenance, and is identified as Tax Parcel No. 102-A 16, 17 (Acct No. 071097) in the Riner Magisterial District (District D). The property currently lies in an area designated as Rural in the 2025 Comprehensive Plan.

The subject parcel is zoned Agricultural (A-1) and is approximately 100 acres in size. The northern boundary joins Interstate 81 and is a steep wooded parcel which appears to be used by the City of Radford for disposal of mulch and some wood, possibly as a result of tree removal projects in the city. The parcel is bordered on all sides by properties zoned Agricultural (A-1). The majority of the surrounding property consists of large wooded parcels

with a few smaller cleared tracts to the west which may be used for pasture (see attached aerial map).

As indicated in the letter dated January 31, 2014 prepared by Gail Cook DeVilbiss, Radford City Attorney, Verizon entered into a land lease with the City of Radford for this property in 2008. The SUP application, signed October 21, 2013 by the City of Radford was submitted to Montgomery County prior to the March 2014 application deadline. The public hearing was originally scheduled for April 9, 2014; however, the applicant requested a deferral to allow time to address outstanding issues.

All adjoining property owners were notified in compliance with the Code of Virginia and Section 10-52(3) of the Montgomery County Code.

III. Impacts

The proposed site consists of a lease area of 100 ft. x 100 ft., including a 70 ft. x 70 ft. fenced compound and a 12 ft. x 16 ft. equipment shelter, with a 12 ft. wide gravel access road to be constructed within a 20 ft. access easement. The impacts associated with this request for approval of a 199 ft. monopole telecommunications tower inclusive of a 4 ft. lightning rod, are discussed below.

1. Transportation/Traffic

Traffic for the site is expected to be limited to one trip per month, except in the case of an emergency, after construction of the tower is completed. Verizon plans to access the tower site via a private entrance from Peterson Drive (F-056). VDOT has visited the site and provided a response dated December 09, 2013 stating that "we have reviewed your request to place a Verizon Wireless tower off Rt. F056 (Peterson Drive) and found it to be satisfactory, and will not impact the proposed I-81 New River Bridge/interchange project".

2. Infrastructure

This proposal will have no direct impact upon infrastructure. Neither public water nor public sewer is required for this project.

3. Schools

This proposal will have no direct impact upon the public school system.

4. Noise and Light

According to the applicant's agent, the level of noise generated by this use will be limited to noise associated with a generator and air cooling units.

There will be no lighting mounted on the tower unless required by FAA.

5. FAA Requirements

The applicant has provided a copy of a "Federal Airways and Airspace Summary Report" and has "determined that notice to the FAA is not required".

Virginia Tech Airport has received notification of this application. Staff received communication dated March 5, 2014 from Michael St. Jean, Director, indicating he has no concerns with the proposed tower due to its distance from the Virginia Tech Airport.

New River Valley Airport has received notification of this application. Staff received communication dated April 28, 2014 from Keith Holt, Manager, indicating the proposed location and the overall height of 199 ft. should not be a hazard.

6. Historical

No structures of historical significance have been identified.

7. Access

Verizon Wireless has acquired a 20 ft. access easement from the City of Radford for access to the proposed tower site. The application materials indicate that a 12 ft. wide access road will be constructed within the easement. The impact of the construction of the gravel access road as it relates to stormwater regulations is unknown to staff at this point.

8. Erosion and Sediment Control

During the initial site visit conducted by the Commission, the proposed tower and access easement location had not been marked by the applicant. Since that time the applicant had a surveyor to mark the location of each. Verizon Wireless will need to complete some clearing of brush and minimal trees to construct the tower and associated improvements. The plan indicates that an area of 20,000 sq. will be disturbed, requiring an E & S permit for this project.

9. Other

Radford Mountain Bike Trails

Staff located a map on file on the Planning Department which identifies twelve (12) mountain bike trails located on the subject parcel. The map was prepared in 2008 by the City Engineer's office. A discussion with the City Engineer confirmed there are no recorded easements for the trails or use thereof and the bicycle group has disbanded with no interest in maintaining the trails.

The City also uses the property for unofficial recycling efforts, including a composting operation.

Staff is comfortable that the construction of a telecommunications tower on the subject site will not negatively impact the City's use of the site for the occasional mountain bike enthusiast (by City permit only).

IV. Comprehensive Plan

The specific location of the proposed tower is in the northern portion of an existing wooded area owned by the City of Radford, zoned A-1 and designated as "Rural" in the Comprehensive Plan. The proposed tower will be a "new build" rather than a co-location. The Comprehensive Plan encourages co-location on existing communications, tall buildings, water tanks, etc. UTL 2.2.1 provides further guidance on the topic of co-location.

UTL 2.2.1 Co-location: Support the siting of new antennae, microwave dishes, etc. on existing structures such as existing communication towers, tall buildings, water tanks,

electric transmission towers, signs, etc. This allows for the "highest and best" use of existing structures and sites that could eliminate the need for construction of a new tower structure in an inappropriate area.

In 2001, Montgomery County, along with neighboring jurisdictions, adopted the Regional Approach to Telecommunications Towers. In October 2004, Montgomery County adopted a more detailed approach which applied the 2001 hierarchical framework to the new future land use categories as specified in UTL 2.2.2 Uniform Approach to Siting of New Towers.

UTL 2.2.2: Siting of new communication towers in a jurisdiction should be reviewed for their potential effects on surrounding jurisdictions as well as the jurisdiction in which the structure is to be located. Newly constructed towers should be built in locations that will provide the least negative impact to the citizens of each jurisdiction. Montgomery County encourages the use of monopole and/or "stealth towers" for new sites that require new construction or "new builds". The following locations are listed from most to least preferable when considering the siting of communication towers:

- A. Industrial parks (Urban Expansion, Village Expansion, and Villages);*
- B. Industrial zoned lands (Urban Expansion, Village Expansion, and Villages);*
- C. Commercially zoned lands (Urban Expansion, Village Expansion, and Villages);*
- D. High density residential lands (Urban Expansion, Village Expansion, and Villages);*
- E. Non-ridge, wooded lands (Rural/Resource Stewardship);*
- F. Non-ridge, open lands (Rural/Resource Stewardship);*
- G. Medium density residential lands (Village Expansion and Villages);*
- H. Medium density residential lands (Residential Transition);*
- I. Medium density residential lands (Rural and Rural Communities);*
- J. Low density residential lands (Resource Stewardship);*
- K. Ridgeline Lands (Resource Stewardship)*
- L. Historic Lands/Districts (Villages)*

Based on a preliminary review of the application materials, the proposed tower location could be characterized as a "Location E", as the tower is located within an Agricultural zoning district and identified as "Rural" in the Comprehensive Plan.

The Montgomery County 2025 Comprehensive Plan, Planning and Land Use Chapter, describes Rural areas as "Areas of the County, not generally served by public utilities, where agricultural and rural residential uses are predominant and should be preserved and

stabilized. These areas include low-density rural residential subdivisions and active agriculture on secondary agricultural soils. Agricultural uses in these areas are often fragmented and subject to encroaching rural residential development". Per section PLU 1.3.1, the preferred land uses for Rural Areas are:

- a. *The preferred land uses in Rural Areas are rural residential development and agriculture. Rather than promoting new rural residential development in Rural Areas, the County seeks to maintain the rural character of existing rural residential developments. The County also seeks to maintain existing agricultural uses in Rural Areas.*
- b. *The County will continue to promote farmland retention programs, such as agricultural and forestal districts, in Rural Areas.*
- c. *New low-density rural residential development will be permitted, but not encouraged, in Rural Areas. Where such development does occur, the County will encourage compact or clustered development to preserve open space and natural resources.*
- d. *Rezoning to allow higher intensity uses in Rural Areas will be discouraged.*
- e. *New non-agriculturally based industrial and commercial uses will generally be discouraged in Rural Areas, unless the use is compatible in scale and intensity with agricultural and rural residential uses and poses no threat to public health, safety and welfare.*
- f. *The County may permit new non-agriculturally related institutional uses by special exception provided the use is compatible in scale and intensity with agricultural and rural residential uses and poses no threat to public health, safety and welfare.*

Further, PLU 1.3.3 "Rural Area Community Facilities and Utilities" states:

- a. *Future sewer and water service extensions to Rural Areas will be discouraged except to resolve existing public health threats or to interconnect existing individual systems.*
- b. *With the exception of public parks, recreation facilities, and solid waste collection facilities, Rural Areas will not be a preferred location for new community facilities.*
- c. *Transportation access is via existing collector highways. New rural residential subdivision should be served by internal streets that connect to existing rural roads to avoid strip development and to minimize individual driveway access along existing collector highways.*
- d. *The use of private roads will general be discourage in Rural Areas.*

V. Analysis

The 195 ft. tower is proposed to be a monopole structure with a 4 ft. lightning rod; however the applicant **does not** specify the use of flush-mounted antennas for the tower. Additional details are provided below.

The proposed new tower will be used by Verizon and be available for possible use by three (3) additional cellular providers. A provision has been made to allow Montgomery County Emergency Services and/or City of Radford Emergency Services a position on the tower.

The tower is proposed to be a "gray galvanized steel finish" which is an option provided by Section 10-48 (6) (a). Staff would prefer and has suggested the tower and antennas and/or dishes be painted a matte brown color to help the proposed tower to blend with the surrounding tree cover of this site.

The parcel on which the proposed tower will be located is approximately 100 acres, in an area with significant vegetative buffer. The applicant's agent has indicated that minimal thinning of the existing vegetative buffer will be necessary to construct the tower; therefore the applicant is proposing a nine foot (9) high chain link fence with no landscaping to screen the base of the tower and ground equipment.

The proposed lease area is approximately 100 ft. x 100 ft. providing a total of 10,000 sq. feet along with a 20 ft. wide access easement. Verizon intends to fence 70 ft. x 70 ft. (4,900 sq. ft.) of the proposed lease area for use as the compound. Staff suggests a landscaping screen around the compound fence to provide screening of the ground equipment from any future development of the 100-acre site by the City of Radford.

199' Tower Request

According to Montgomery County Code Section 10-21(4), a freestanding telecommunications tower may be permitted by the Board of Supervisors as a special use, subject to the requirements of Chapter 10-21, and all other applicable regulations, including Section 10-48(6) Telecommunications towers, freestanding, and the Comprehensive Plan. The property is zoned Agricultural (A-1).

This request presents a need to balance the aesthetic desires of citizens with the need for adequate cellular telephone coverage in the County. If the need for a new tower in this area is determined, the Planning Commission and Board of Supervisors must try to mitigate negative impacts for the newly constructed tower to comply with the County's policy on communications towers.

There are several ways in which to mitigate the visual impacts of the structure. The ordinance currently requires the structure be non-reflective or painted with a neutral paint to be less visible. The antennae can be mounted inside the tower or "flush mounted" on the tower. Conditions must be placed on the Special Use Permit (SUP) to ensure the least visual impact is achieved. Verizon proposes to construct a galvanized monopole tower. Verizon has not proposed painting the tower a "neutral color" to decrease the visibility of the structure, nor have they proposed the use of flush mounted antennas.

Careful consideration should be given to the proposed height of the structure as height will affect visibility. A Balloon Test was conducted by the applicant on **January 16, 2014** from 8:00 a.m. until approximately 1:00 p.m., to demonstrate the location and provide a visual indication of the proposed structure at the proposed overall height of 199 feet. Photographs were obtained by the applicant and county staff to attempt to illustrate the results of the test. While staff notified the Commissioners, the community and adjacent property owners were not notified of the balloon test because the applicant had not submitted an application for the Special Use Permit.

The applicant has proposed the installation of a 195 ft. monopole with a 4 ft. lightning rod for an overall height of 199 ft. The proposal includes the use of a platform of approximately 14' – 6" for installation of panel antennas with approximate dimensions of: 96"(Height), (18" Width), and (10" Depth).

The antennas are proposed to be installed at the following heights:

- 194 ft. ± AGL @ RAD C_L
- 184 ft. ± AGL @ RAD C_L
- 174 ft. ± AGL @ RAD C_L
- 164 ft. ± AGL @ RAD C_L

Staff does not support the request to construct the tower at 195 ft. plus a 4 ft. lightning rod.

150' New Tower Option

A view shed analysis of the proposed tower location has been performed using the County's LIDAR data and digital imagery. This information will be shown electronically at both public hearings. Based upon review of LIDAR data and digital imagery it appears the height of the proposed tower could be reduced to 150 feet while still achieving the applicant's coverage goals and allowing for additional co-location opportunities. Maps have been prepared by the GIS Manager to document this statement.

The Emergency Services Coordinator has reviewed the SUP application and requested that space be made available on the tower for police, fire and rescue services equipment if needed. The Emergency Services Coordinator has also requested that EMS equipment be permitted to be stored inside the fenced area.

Staff would support approval of a 150' new monopole telecommunications tower with the possibility to use a modified flush mounted antenna at a distance no greater than 24 inches from the face of the monopole to provide some adjustment or tilting of antennas to achieve optimal coverage. Again, staff strongly suggests painting the tower and antennas a non-reflective (matte) brown to reduce reflectivity and allow the structure to blend into the surrounding tree cover of the site as much as possible.

Co-location Option

Staff would prefer a colocation of antennas on an existing structure in the area rather than construction of a new telecommunications tower. The advantage of this option is:

- No Special Use Permit (SUP) is required for installation of new antennas

- Staff reviews the application administratively for approval.
- Code of Virginia allows the applicant the opportunity to increase the height of the existing structure as much as twenty (20) ft. with a colocation project.
- Protect the view shed from the construction of an excessive number of tall structures.

Therefore, staff encouraged the applicant to evaluate colocation opportunities within the area. The information provided is as follows:

- Colocation on existing 183 ft. Crown monopole tower (4619 Cornbread Road)*
Applicant's comments – "This site will not close the coverage rigs and would provide 'no' coverage along Interstate 81 from the river east for approximately 1.4 miles".
- Colocation on exiting Charmont (Ingles Mountain) on a 60 ft. water tank (adjacent to 121 Charmont Drive)*
Applicant's comments – "This site would only provide 'acceptable' or 'marginal' coverage at any point along Interstate 81. Providing only 'acceptable' or 'marginal' coverage will not be sufficient to meet VZW's coverage objectives."
- Colocation on AT&T 60 ft. wood pole (Corporate Drive – City of Radford)*
Applicant's comments – "Since this tower is wood, it will not structurally support VZW's equipment. A new (steel) tower would need to be installed at this site in order to accommodate additional carriers. However, since this tower is only 60 ft. and the site is so far from the needed search ring, it would not serve VZW's coverage objective even if a steel monopole was reconstructed at this location".
- Colocation on three (3) AEP transmission towers as identified by Staff on City of Radford property in the vicinity of the proposed new tower.*
Applicant's comments – Based on a comment received from Verizon per discussion with Mr. Key, an AEP representative, the applicant stated "the three transmission towers would not meet VZW's needs since (1) they would need to be replaced with taller steel structures and (2) they would not be available within a reasonable timeframe".

It should be noted that a co-location option is always preferred for providing coverage in any area. AEP has a policy to co-locate telecommunications equipment on existing AEP power poles. With this option, no Special Use Permit (SUP) is required and staff can administratively approve a request by the applicant to increase the height of the existing power pole by 20 ft. to allow the addition of the telecommunications equipment to the existing pole.

Per staff conversations with AEP, we learned that in this case the existing wooden pole would need to be replaced with a steel pole in order to support the weight of the proposed antennas. However, there would be no restriction on the size or type of antennas allowed for colocation. An equipment compound would be added to protect Verizon's equipment. AEP has indicated the colocation would take time to design and order the replacement pole which would need to be installed by AEP and service to the equipment, once installed, could be limited due to periods of extreme heat or cold.

Through review of the AEP height data supplied for the three wooden poles, staff has been able to confirm through use of our software programs that the applicant's coverage objectives to provide good service in the area would not be met by collocating on either of these existing utility poles.

At the time this report was issued, the Planning and GIS Services had received two (2) inquiries for more information regarding the request. Adjacent property owners and/or other interested parties may also be present at the public hearing to present their views on this request.

VI. Staff Recommendations

Planning staff recommends denial of the initial 199 ft. tower request based on staff analysis of the coverage data available. (See enclosed "Proposed Verizon Peterson Drive Tower Viewshed" prepared by Montgomery County GIS Dept.)

Planning staff recommends approval of the new tower request at a maximum height of 150 ft. with the following conditions:

1. Tower shall not exceed a total overall height of 150 ft. inclusive of the proposed lightening rod with a ground elevation of 2,030.6 ft. Tower shall not have lighting unless required by the FAA. Tower shall have a base diameter of 7'-6" (6" \pm) inches and a top diameter of 4'-0" (6" \pm) inches.
2. Site development shall be in substantial conformance with the plans entitled, "Peterson Drive, 5480 Peterson Drive, Radford, VA 24141", prepared by Clark-Nexen Architecture & Engineering, revised, 01/10/2014 and received by Montgomery County on February 7, 2014.
3. Verizon shall access the site using an existing private driveway off State Route F056 (Peterson Drive).
4. Verizon shall construct a 12 ft. wide gravel access road within a 20 ft. wide access easement to the proposed telecommunications tower site.
5. Tower shall be of a "monopole stealth design" and all antennas shall be modified flush mounted (distance between face of pole and outer face of antennas not to exceed 24 inches) on the structure. Tower shall be painted matte brown (Umbra). All wiring and cables shall be located inside the pole structure.
6. Existing site vegetation shall not be cleared beyond the proposed lease area, except for that necessary for construction of an entrance road and utilities.
7. Engineering plans signed and sealed by a licensed engineer in the State of Virginia shall be submitted to and approved by the Building Official prior to the issuance of a building permit.
8. No platforms or dishes shall be permitted on the structure above the tree line.
9. A landscaping screen of a double row of evergreen trees, six ft. in height at the time of planting, shall be provided around the compound fence to provide screening of the ground equipment from any future development of the 100-acre site by the City of Radford.
10. Tower shall meet all regulations found in Section 10-4(6) of the Montgomery County Zoning Ordinance.
11. Backup generator, if applicable, shall not be fueled by a liquid fuel source.

12. Owner/agent shall provide police, fire and rescue services antenna space on the proposed tower for the agreed upon rental rate of \$1 per year subject to the structural capacity of the tower and provided that emergency service antennae do not provide radio frequency interference to other antennae located upon the tower. Emergency Service providers shall provide equipment. Tower owner/agent shall install the antennae at market rate.
13. The second highest space on the tower shall be made available to the County. In the event that Montgomery County has not used this space and another cellular carrier wishes to co-locate on the same tower, the tower owner shall give the Montgomery County Administrator fourteen (14) days notice by Certified Mail of their intent to occupy this location.

Enclosures: Current Zoning Map
Aerial Photo Map
Application materials
Site Photos
LIDAR Data and Digital Imagery



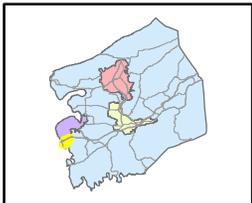
**City of Radford
(Verizon Wireless)
Request
for
Special Use Permit**

Parcel ID(s): 071097

Legend

- Corporate Line
 - State Roads
 - Interstate Highway
 - Private Roads (Named)
 - Planned Highway
 - Railroad
 - Hydrology
 - AEP County Transmission Lines
 - Cemeteries
 - Tax Parcels
 - Subject Parcel (City of Radford)
- Zoning Class**
- A1 - Agriculture
 - CB - Community Business

Parcel Date: Jan 2014
Source Montgomery County Commissioner of Revenue



Montgomery County, Virginia

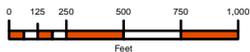
DISCLAIMER
INFORMATION SHOWN ARE TO BE USED FOR REFERENCE PURPOSES ONLY. THE MONTGOMERY COUNTY BOARD OF SUPERVISORS NOR PLANNING AND GIS SERVICES ARE NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN. NO RESPONSIBILITY IS ASSUMED FOR DAMAGES OR OTHER LIABILITIES.

THE INFORMATION SHOWN HEREON IS TO BE USED FOR REFERENCE PURPOSES ONLY AND IS NOT TO BE CONSTRUED OR USED AS A LEGAL OR OFFICIAL DETERMINATION OF OFFICIAL COUNTY, STATE, AND FEDERAL RECORDS. DATA IS BELIEVED TO BE ACCURATE, BUT IS NOT GUARANTEED.

IN NO EVENT SHALL MONTGOMERY CO. BE LIABLE FOR ANY DAMAGES THAT MIGHT ARISE FROM THE USE OR ANY INFORMATION SHOWN.

EXACT LOCATION OF ANY FLOOD ZONE TO BE CERTIFIED BY LICENSED LAND SURVEYOR, ENGINEER, OR ARCHITECT.

CONTOURS SHOWN ARE FOR VISUAL REFERENCE. TO AVOID THE RISK OF MISINTERPRETATION, INVALID RESULTS, AND ERRONEOUS CONCLUSIONS, ORIGINAL LIDAR GENERATED CONTOUR DATA SHOULD BE USED FOR LAND DEVELOPMENT, SURVEY AND ENGINEERING PURPOSES.

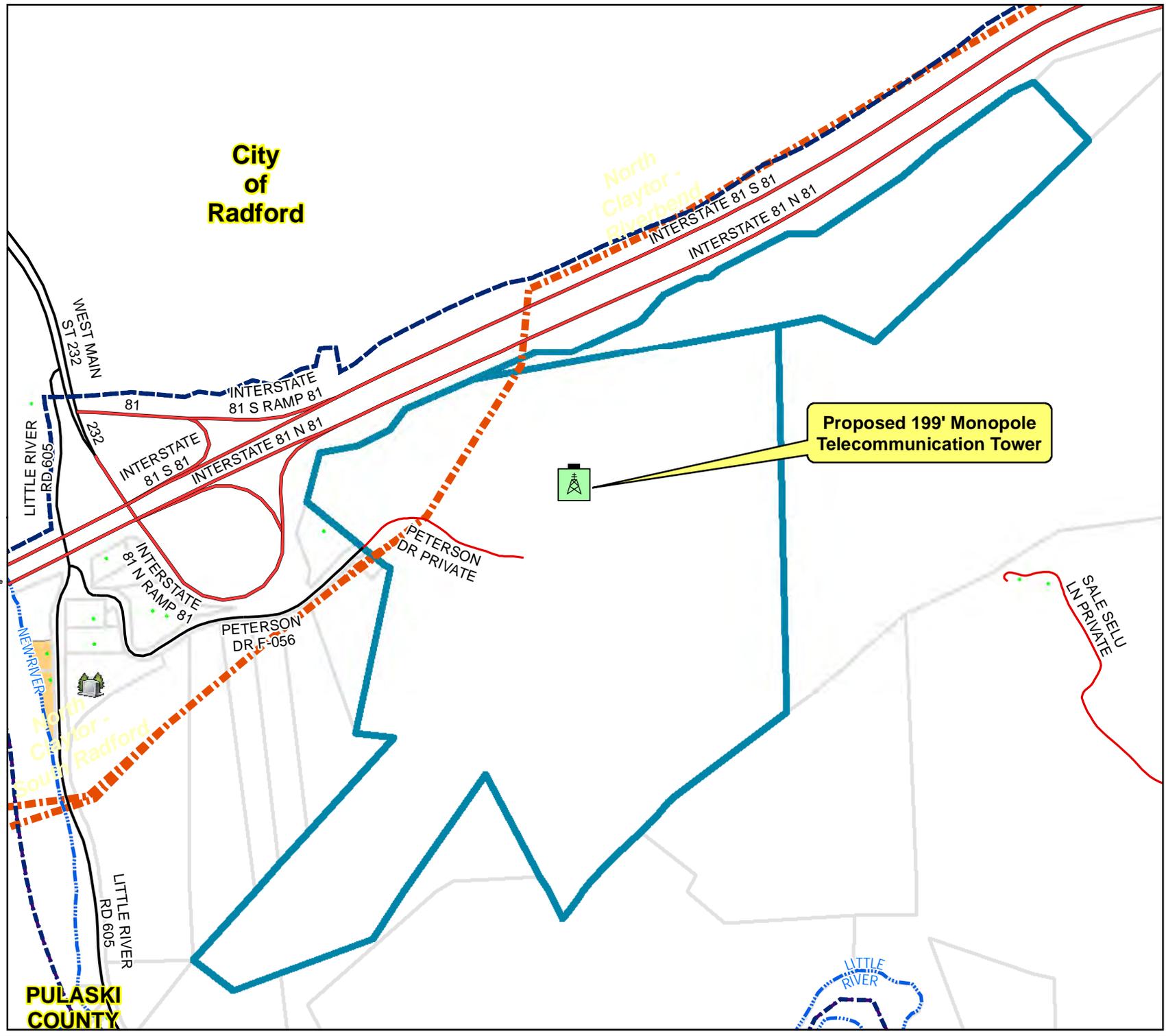


Prepared by Montgomery County, Va
Planning & GIS Services, 2/12/2014

**City
of
Radford**

North
Claytor -
Riverbend

**Proposed 199' Monopole
Telecommunication Tower**



**PULASKI
COUNTY**



**City of Radford
(Verizon Wireless)
Request
for
Special Use Permit**

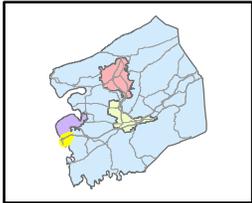
Parcel ID(s): 071097

Legend

-  Corporate Line
-  State Roads
-  Interstate Highway
-  Private Roads (Named)
-  Planned Highway
-  Railroad
-  Hydrology
-  AEP County Transmission Lines
-  Cemeteries
-  Tax Parcels
-  Subject Parcel (City of Radford)

Parcel Date: Jan 2014

Source: Montgomery County Commissioner of Revenue



Montgomery County, Virginia
DISCLAIMER

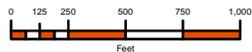
INFORMATION SHOWN ARE TO BE USED FOR REFERENCE PURPOSES ONLY. THE MONTGOMERY COUNTY BOARD OF SUPERVISORS NOR PLANNING AND GIS SERVICES ARE NOT RESPONSIBLE FOR ANY INACCURACIES HEREIN. NO RESPONSIBILITY IS ASSUMED FOR DAMAGES OR OTHER LIABILITIES.

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Prepared by Montgomery County, Va
Planning & GIS Services, 2/12/2014



**Proposed 199' Monopole
Telecommunication Tower**

**PULASKI
COUNTY**

PROPOSED RIGHT-OF-WAY

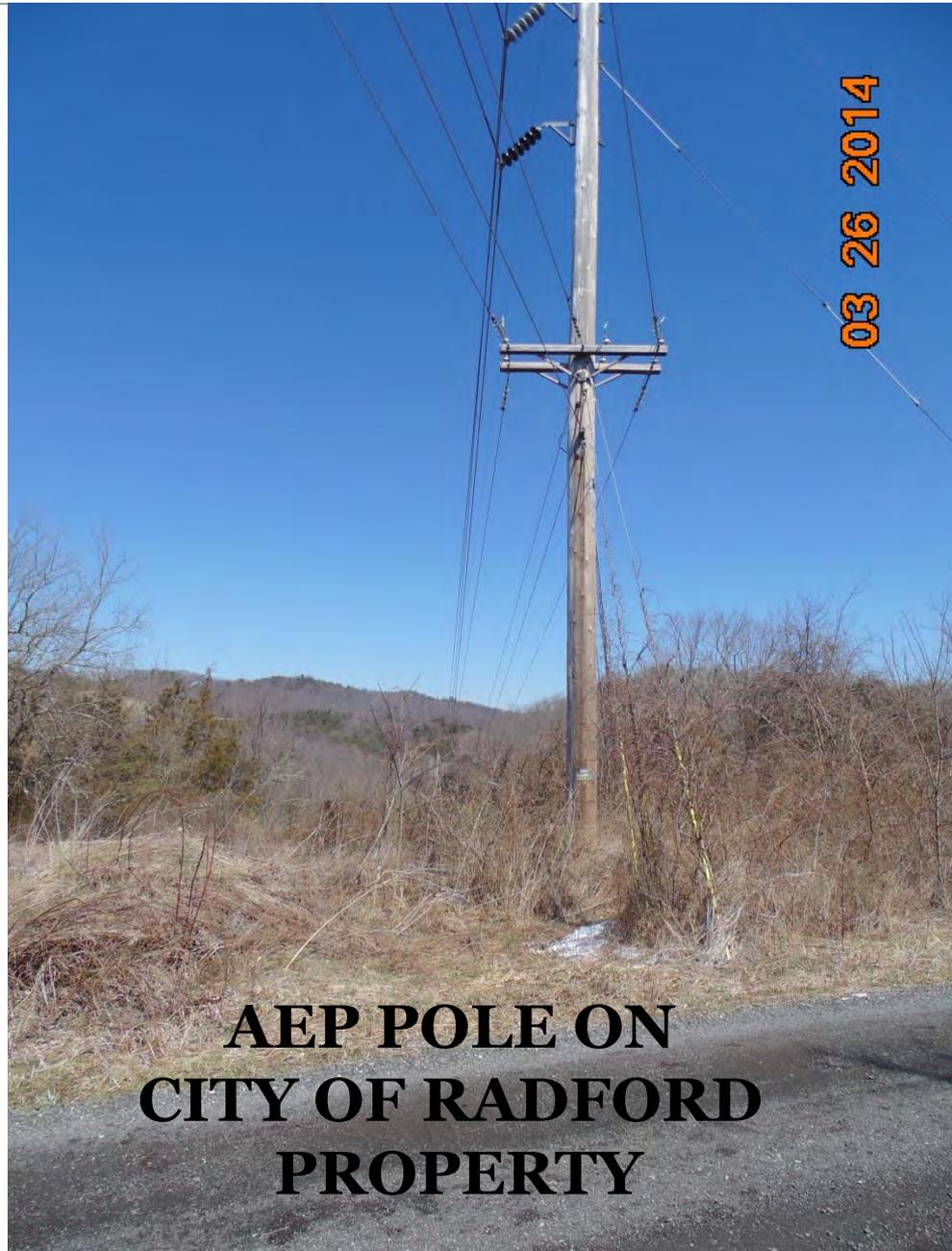


03 26 2014



PROPOSED TOWER LOCATION

03 26 2014



03 26 2014

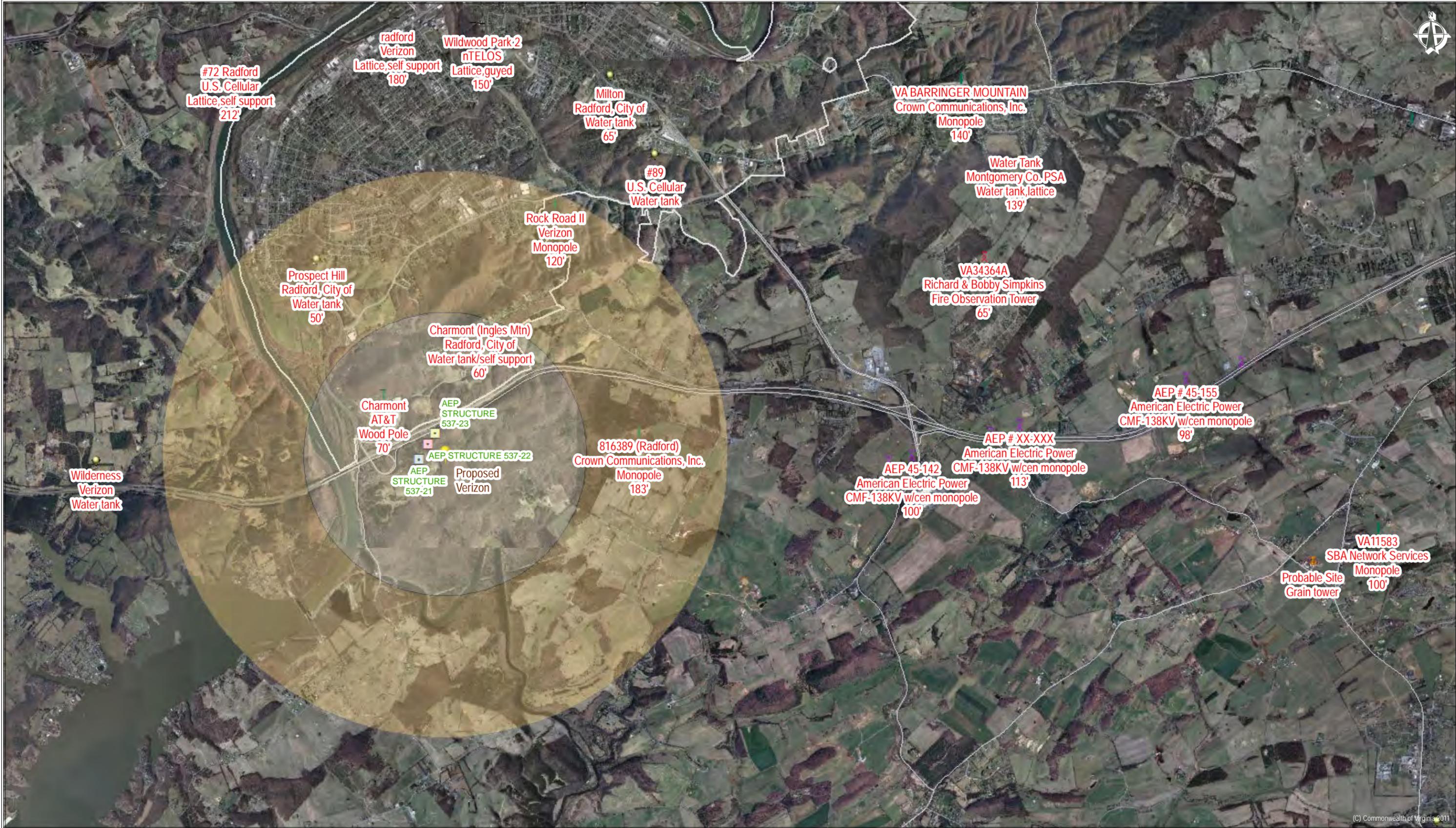
**AEP POLE ON
CITY OF RADFORD
PROPERTY**

**VIEW LOOKING NORTHBOUND, I-81
AT EXIT 105
ONCOMING I-81 SOUTH BOUND TRAFFIC
TOWER SITE IS LOCATED
TO THE RIGHT IN THE PHOTO**



03 26 2014

VERIZON - Peterson Dr - Nearby Communication Structures



(C) Commonwealth of Virginia 2011

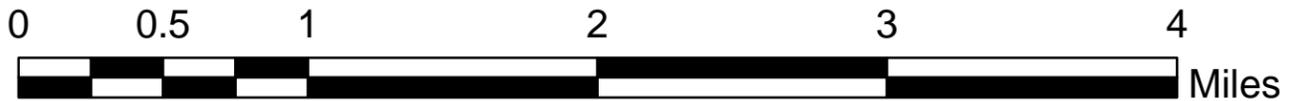


Montgomery Co. GIS Services
Prepared 5/5/14

Legend

- 0.00 - 1.00
- 1.00 - 2.00

Verizon_Peterson





INTERSTATE 81 S

INTERSTATE 81 N

AEP STRUCTURE 537-23
Gnd Elev.: 1862'
Height: 70' (61' ABOVE GND)

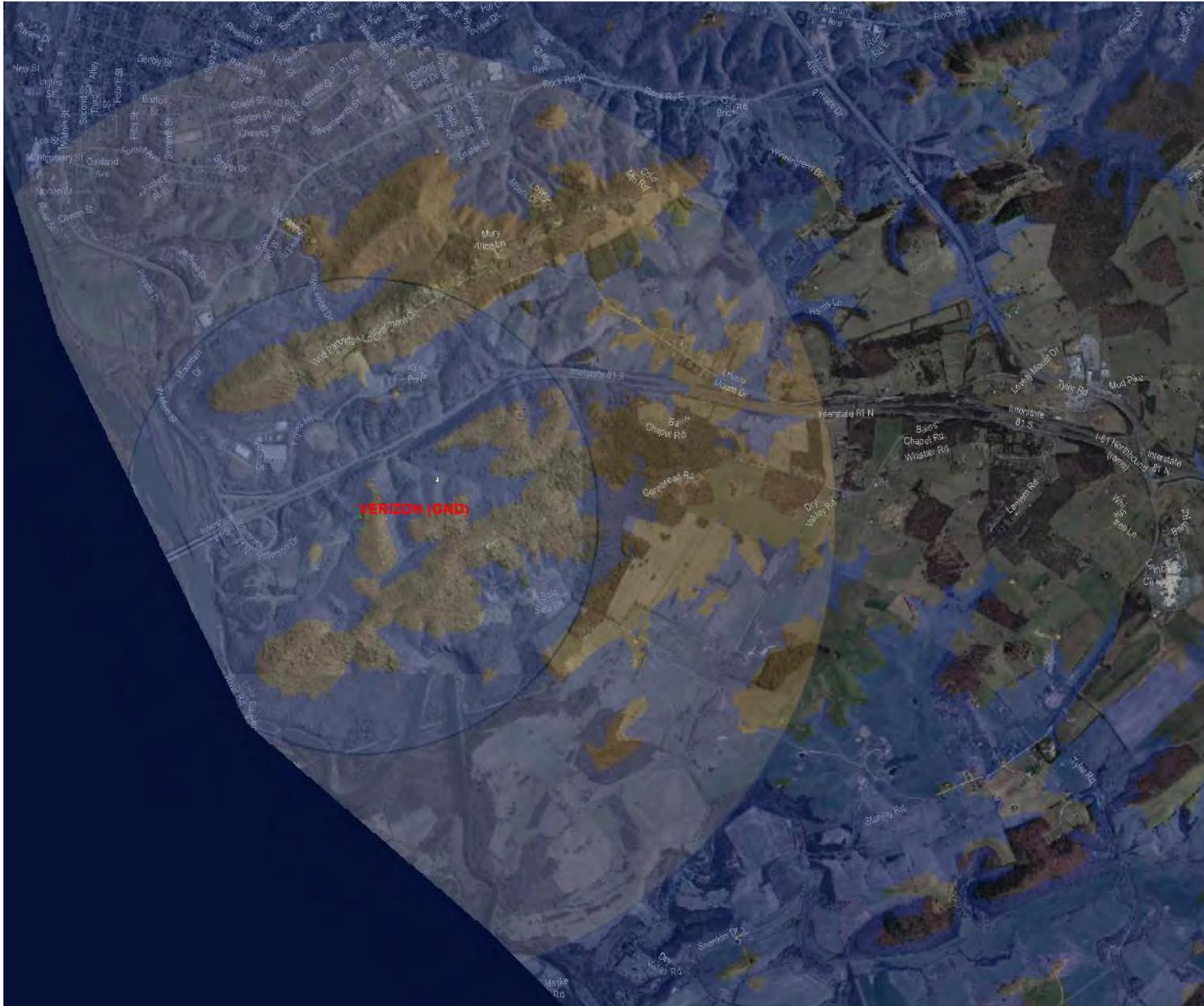
AEP STRUCTURE 537-22
Gnd Elev.: 1941'
Height: 75' (65.5' ABOVE GND)

VERIZON
Gnd Elev.: 2030.6
Proposed Height: 199

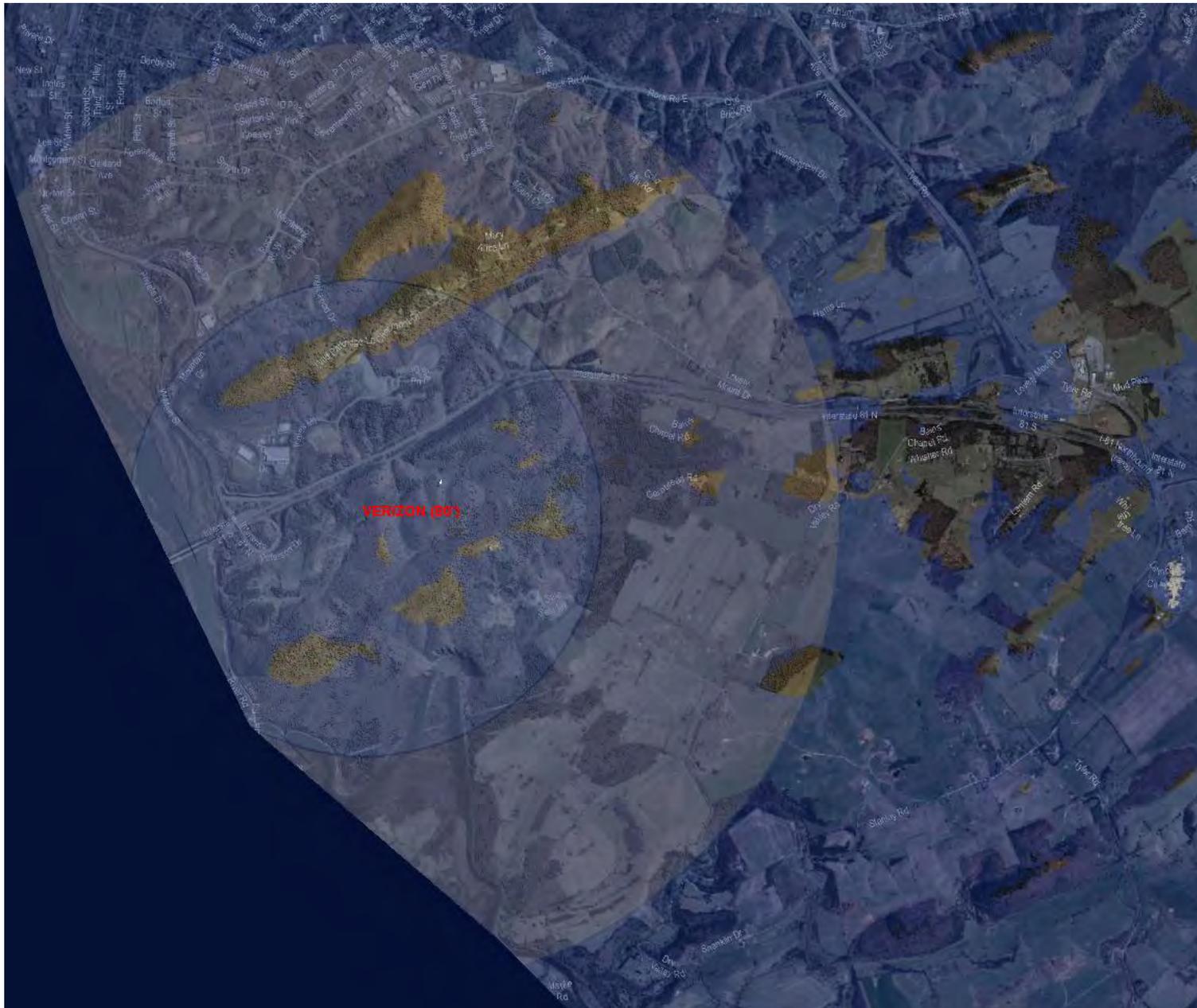
AEP STRUCTURE 537-21
Gnd Elev.: 1970'
Height: 80' (70' ABOVE GND)



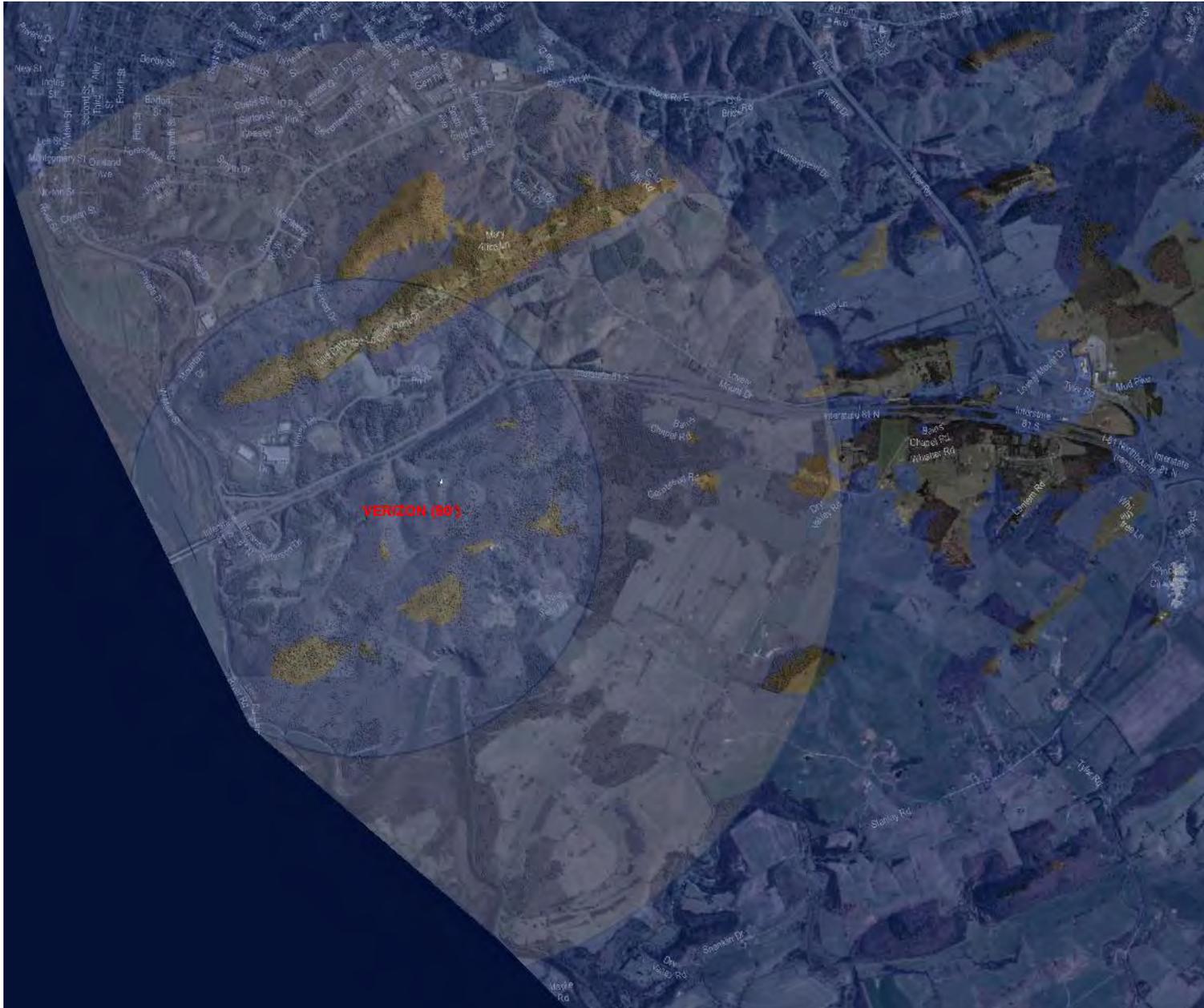
PROPOSED VERIZON PETERSON DR TOWER VIEWSHED (shown as blue thematic area)
(Based on ground elevation of 2030.6' plus proposed height of tower incremented by 10')
Tower Height = 0' (at ground level of 2030.6')



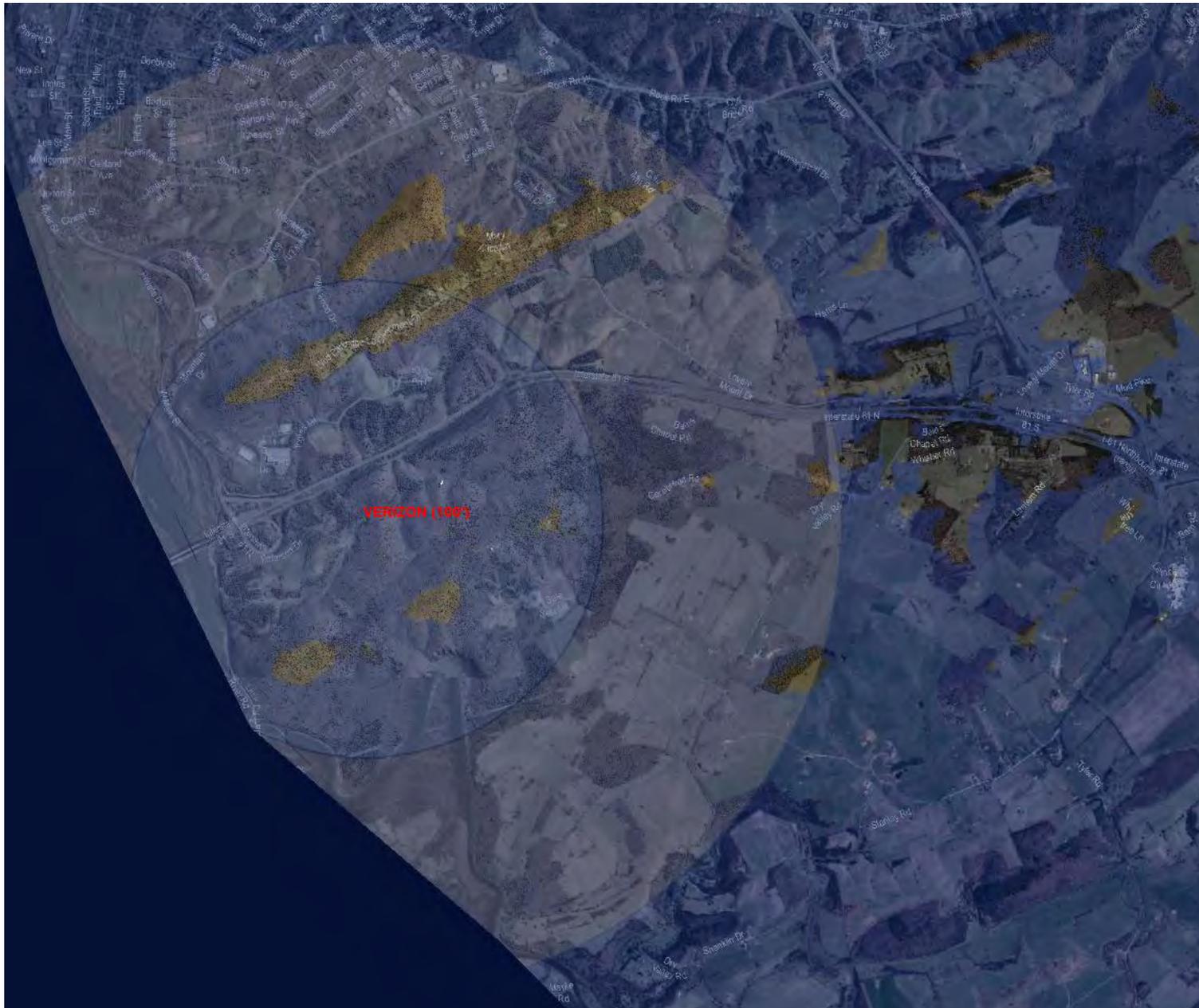
PROPOSED VERIZON PETERSON DR TOWER VIEWSHED (shown as blue thematic area)
(Based on ground elevation of 2030.6' plus proposed height of tower incremented by 10')
Tower Height = 80' (ground level of 2030.6' + proposed height of 80')



PROPOSED VERIZON PETERSON DR TOWER VIEWSHED (shown as blue thematic area)
(Based on ground elevation of 2030.6' plus proposed height of tower incremented by 10')
Tower Height = 90' (ground level of 2030.6' + proposed height of 90')



PROPOSED VERIZON PETERSON DR TOWER VIEWSHED (shown as blue thematic area)
(Based on ground elevation of 2030.6' plus proposed height of tower incremented by 10')
Tower Height = 100' (ground level of 2030.6' + proposed height of 100')



PROPOSED VERIZON PETERSON DR TOWER VIEWSHED (shown as blue thematic area)
(Based on ground elevation of 2030.6' plus proposed height of tower incremented by 10')
Tower Height = 110' (ground level of 2030.6' + proposed height of 110')



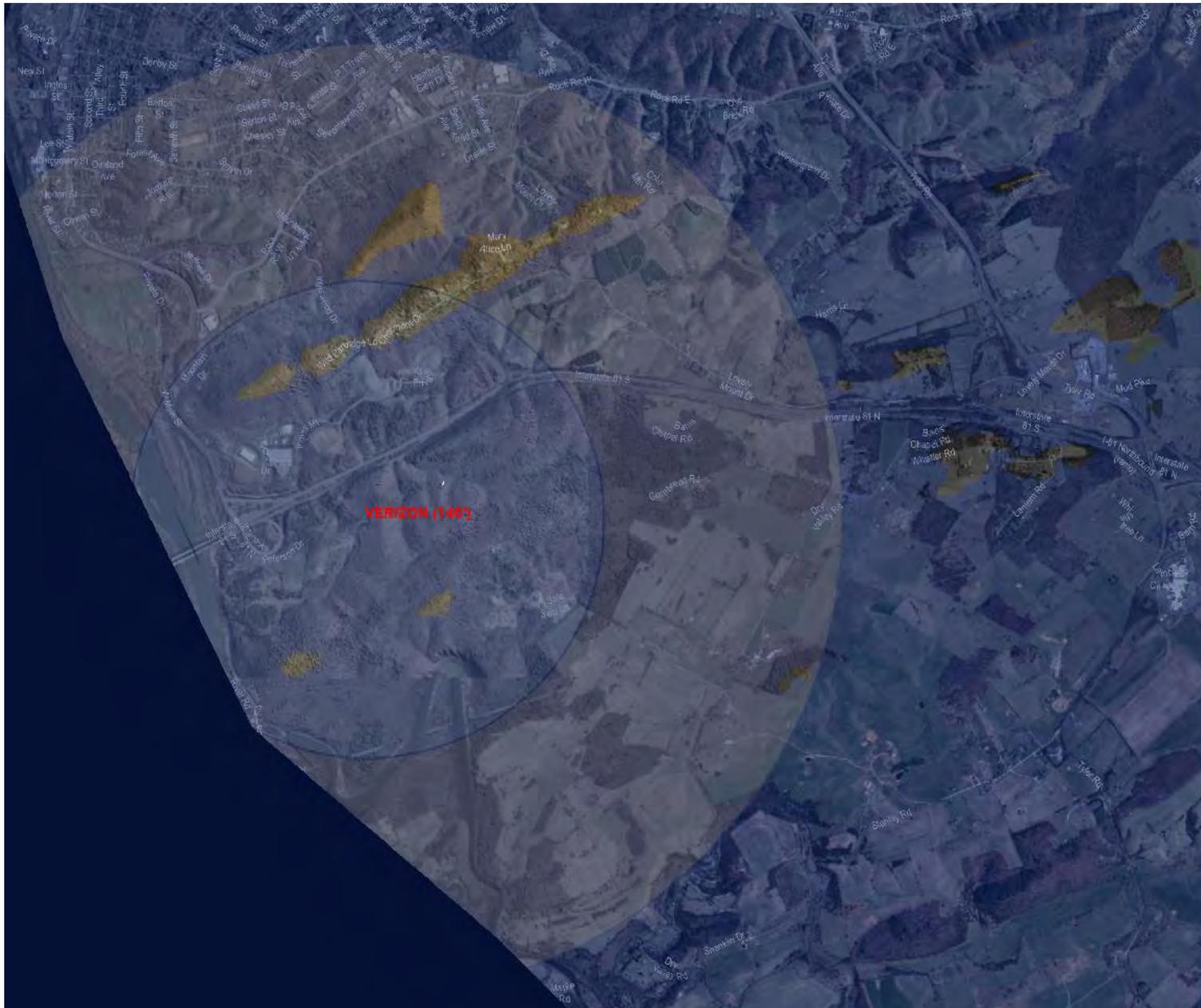
PROPOSED VERIZON PETERSON DR TOWER VIEWSHED (shown as blue thematic area)
(Based on ground elevation of 2030.6' plus proposed height of tower incremented by 10')
Tower Height = 120' (ground level of 2030.6' + proposed height of 120')



PROPOSED VERIZON PETERSON DR TOWER VIEWSHED (shown as blue thematic area)
(Based on ground elevation of 2030.6' plus proposed height of tower incremented by 10')
Tower Height = 130' (ground level of 2030.6' + proposed height of 130')



PROPOSED VERIZON PETERSON DR TOWER VIEWSHED (shown as blue thematic area)
(Based on ground elevation of 2030.6' plus proposed height of tower incremented by 10')
Tower Height = 140' (ground level of 2030.6' + proposed height of 140')



PROPOSED VERIZON PETERSON DR TOWER VIEWSHED (shown as blue thematic area)
(Based on ground elevation of 2030.6' plus proposed height of tower incremented by 10')
Tower Height = 150' (ground level of 2030.6' + proposed height of 150')



PROPOSED VERIZON PETERSON DR TOWER VIEWSHED (shown as blue thematic area)
(Based on ground elevation of 2030.6' plus proposed height of tower incremented by 10')
Tower Height = 170' (ground level of 2030.6' + proposed height of 170')



PROPOSED VERIZON PETERSON DR TOWER VIEWSHED (shown as blue thematic area)
(Based on ground elevation of 2030.6' plus proposed height of tower incremented by 10')
Tower Height = 180' (ground level of 2030.6' + proposed height of 180')



PROPOSED VERIZON PETERSON DR TOWER VIEWSHED (shown as blue thematic area)
(Based on ground elevation of 2030.6' plus proposed height of tower incremented by 10')
Tower Height = 190' (ground level of 2030.6' + proposed height of 190')

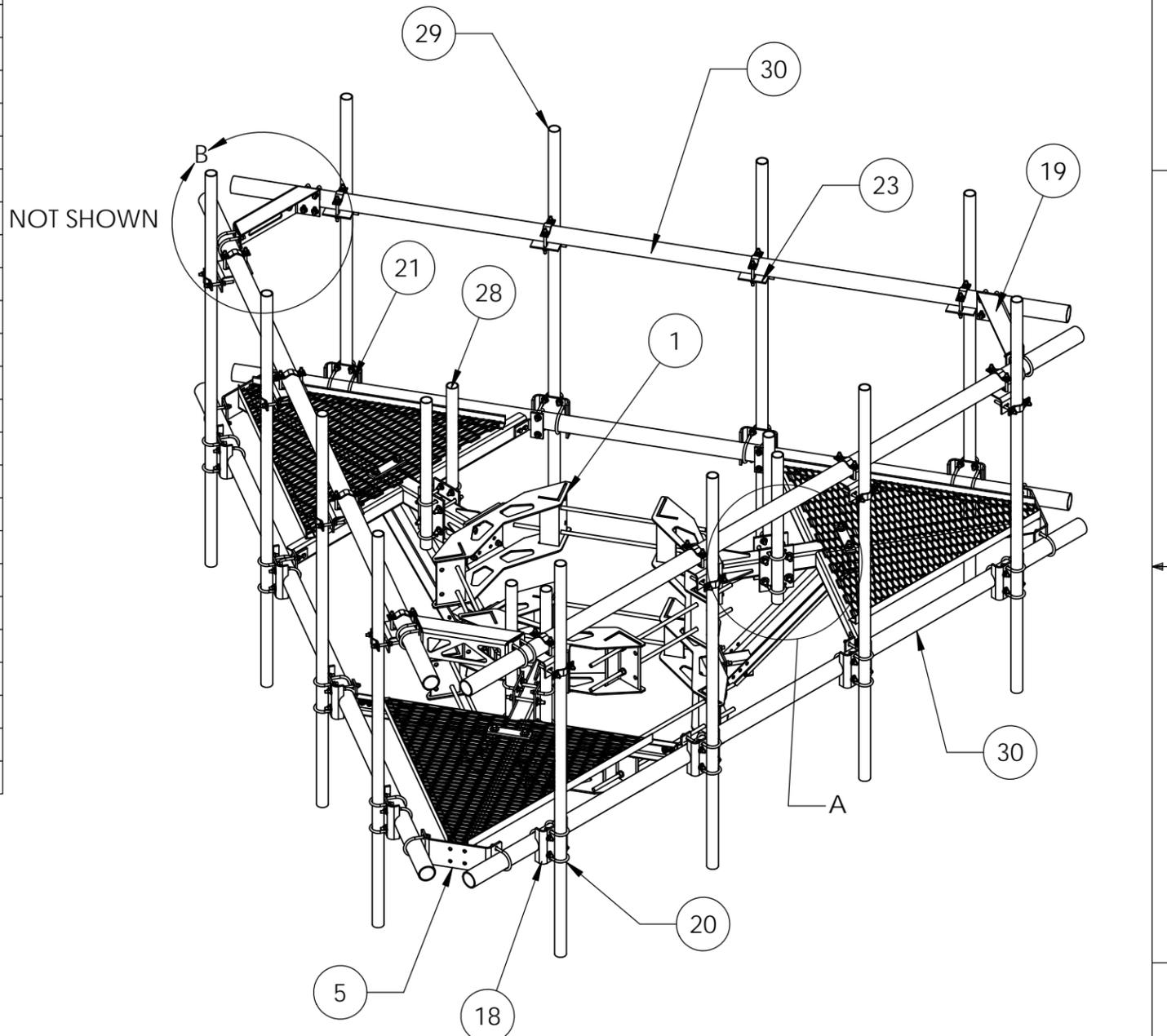


PROPOSED VERIZON PETERSON DR TOWER VIEWSHED (shown as blue thematic area)
(Based on ground elevation of 2030.6' plus proposed height of tower incremented by 10')
Tower Height = 199' (ground level of 2030.6' + proposed height of 199')



| ITEM | PART NO. | DESCRIPTION | QTY. | WEIGHT |
|------|------------|--------------------------------------------|------|------------|
| 1 | RM3060 | 30"-60" Ring Mount Weldment | 3 | 63.09 LBS |
| 2 | MT38440 | 3/4" X 40" GALV THREADED ROD GRADE B7 | 12 | 4.98 LBS |
| 3 | GWL-06 | 3/4" GALV LOCK WASHER | 24 | 0.04 LBS |
| 4 | GN-06 | 3/4" GALV HEX NUT | 24 | 0.12 LBS |
| 5 | MTC360701 | CO-LOCATION PLATFORM 140MPH | 3 | 177.85 LBS |
| 6 | GB-0522A | 5/8" X 2-1/4" GALV. BOLT KIT (A325) | 12 | 0.30 LBS |
| 7 | MTC306505 | 3060 RM Weldment | 3 | 57.97 LBS |
| 8 | MTC313802 | Kicker Mount Standoff | 3 | 13.08 LBS |
| 9 | GB-0520A | 5/8" X 2" GALV BOLT KIT (A325) | 12 | 0.27 LBS |
| 10 | MTC323718 | LEFT KICKER | 3 | 13.66 LBS |
| 11 | MTC323719 | RIGHT KICKER | 3 | 13.66 LBS |
| 12 | MTC323704 | Clamp Bar | 6 | 2.37 LBS |
| 13 | DCP10 | SMALL CLAMP HALF | 6 | 2.21 LBS |
| 14 | MT-381-8 | 5/8" X 8" GALV THREADED ROD | 21 | 0.69 LBS |
| 15 | GWF-05 | 5/8" GALV FLAT WASHER | 48 | 0.06 LBS |
| 16 | GWL-05 | 5/8" GALV LOCK WASHER | 42 | 0.03 LBS |
| 17 | GN-05 | 5/8" GALV HEX NUT | 42 | 0.08 LBS |
| 18 | MT217.01 | PIPE MOUNT PLATE | 12 | 7.93 LBS |
| 19 | MTC360721 | Corner Weldment for 3.5" OD Pipe | 3 | 14.61 LBS |
| 20 | GUB-4240 | 1/2" X 2-1/2" X 4" GALV U-BOLT | 36 | 0.56 LBS |
| 21 | GUB-4356 | 1/2" X 3-5/8" X 6" GALV U-BOLT | 24 | 0.82 LBS |
| 22 | GUB-4355 | 1/2" X 3-5/8" X 5" GALV U-BOLT | 24 | 0.71 LBS |
| 23 | XA-U | UNIVERSAL CROSSOVER ANGLE | 12 | 6.85 LBS |
| 24 | XP2040.01 | CROSSOVER PLATE 2-3/8" O.D. TO 4-1/2" O.D. | 6 | 7.13 LBS |
| 25 | MT196.17 | MT196 Pipe Mount Plate | 6 | 2.49 LBS |
| 26 | GB-04145 | 1/2" X 1-1/2" GALV BOLT KIT | 12 | 0.13 LBS |
| 27 | GWF-04 | 1/2" GALV FLAT WASHER | 12 | 0.03 LBS |
| 28 | MT-649 | 2 3/8" x 36" Pipe | 6 | 10.90 LBS |
| 29 | MT-651-96 | Ø2.375" OD X 96" PIPE | 12 | 29.07 LBS |
| 30 | MT-547-174 | 3.5" O.D. X 174" PIPE | 6 | 109.27 LBS |

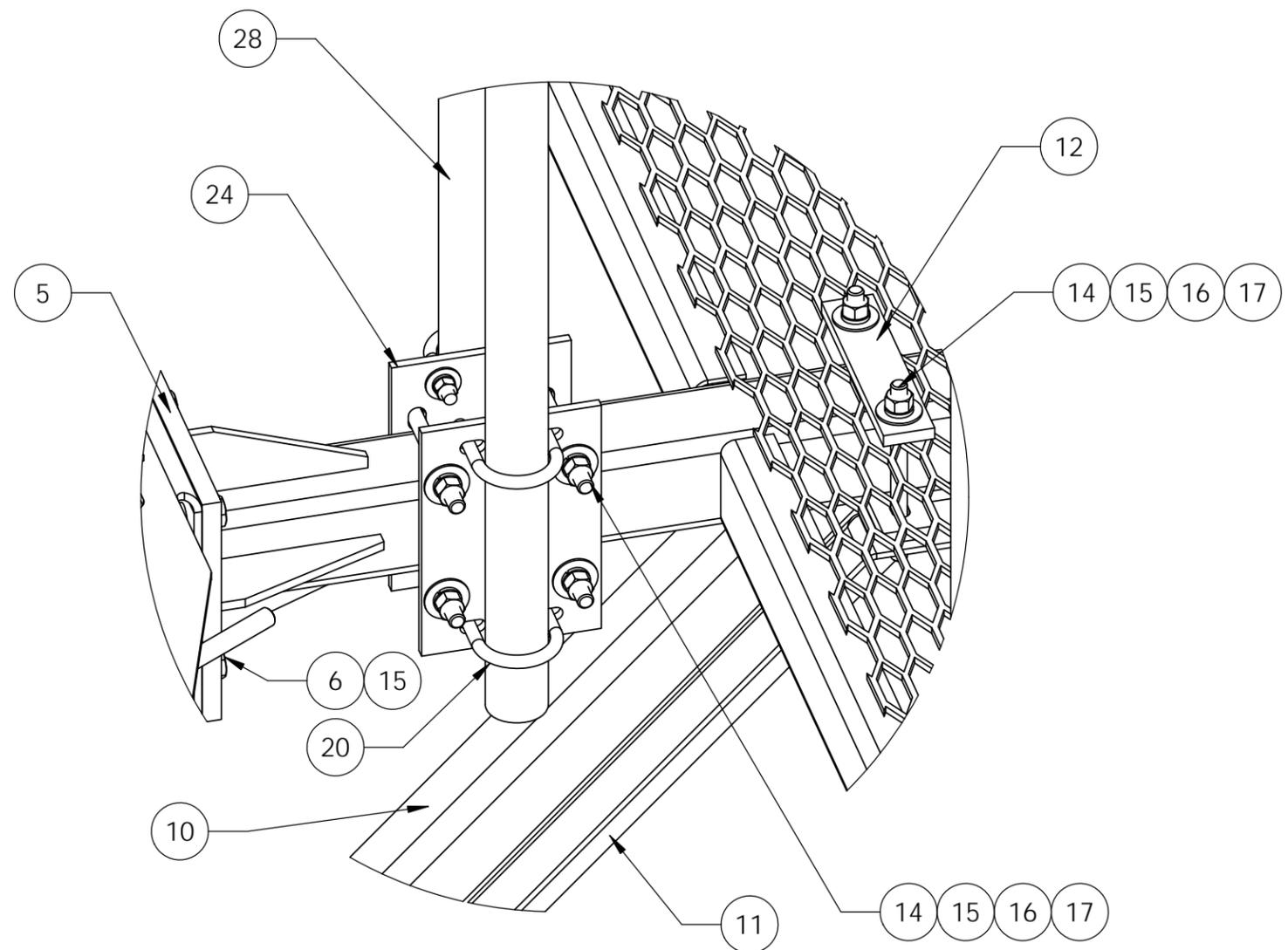
| REVISIONS | | | | |
|-----------|------|-----------------|-----|----------|
| REV. | ZONE | DESCRIPTION | BY | DATE |
| A | | INITIAL RELEASE | MSM | 03/20/14 |



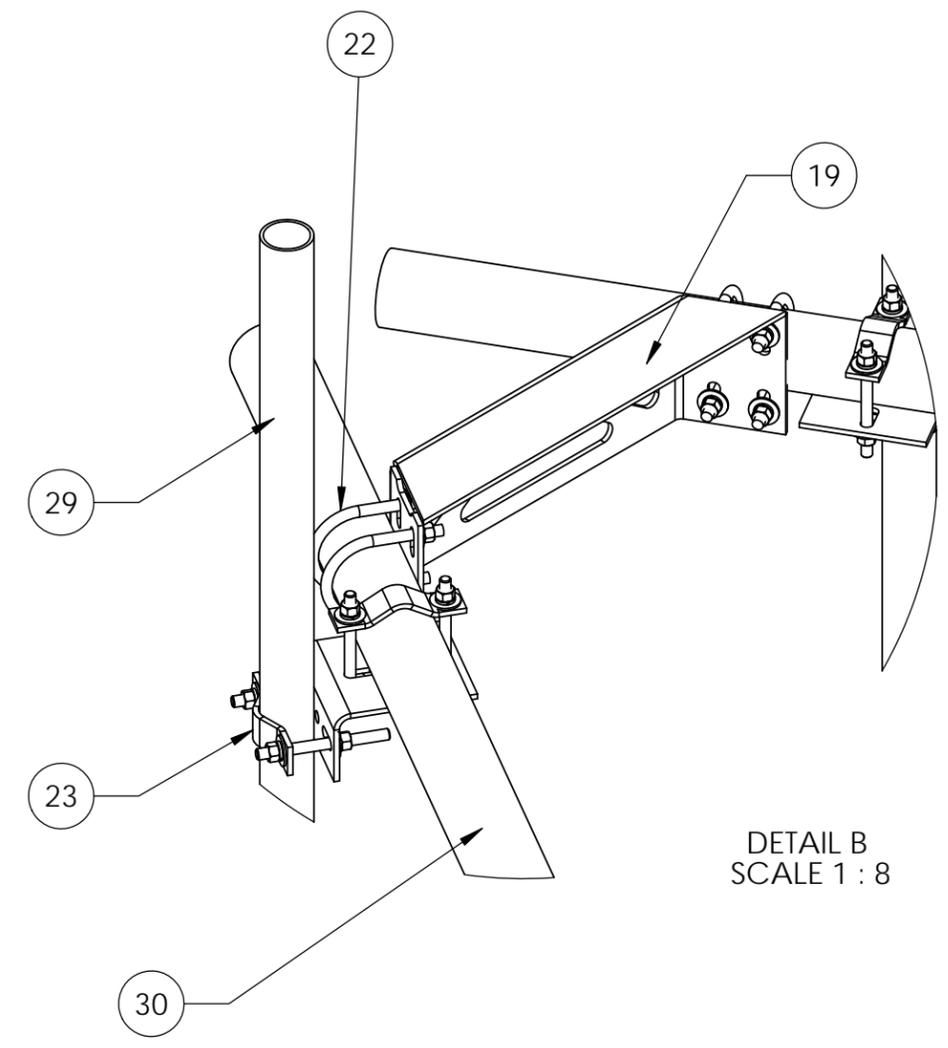
- NOTES:
- ALL METRIC DIMENSIONS ARE IN BRACKETS.
 - FITS MONOPOLES Ø30"-60".
 - SEE SHEET 4 FOR PLATFORM DETAILS.
 - SEE SHEET 5 FOR FOR MTC3237L KICKER SUPPORT DETAILS.

| | | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|-----------------------------------------------------------------|------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <small>These drawings and specifications are the proprietary property of CommScope Inc. and may be used only for the specific purpose authorized in writing by CommScope Inc.</small> | | DRAWN BY: HC CHECKED BY: TP DATE: 10/28/13 REVISION: A | SHEET: 1 of 5 SCALE: NTS MATERIAL: A36, A500, A529 FINISH: Galv A123 WEIGHT: 2563.73 LBS | PART NUMBER: MTC360714L DESCRIPTION: 30-60 PLATFORM KIT, KICKER, 14' FACE, HD DRAWING TYPE: ASSEMBLY DRAWING COMMSCOPE® Hickory, NC 28602 U.S.A. |
| <small>ALL DIMENSIONS ARE IN INCHES U.O.S. TOLERANCES UNLESS OTHERWISE SPECIFIED: .X = ± .12 ANGLES ±2° .XX = ± .06 FRACTIONS ±1/32 .XXX = ± .02 REMOVE BURRS AND BREAK EDGES .005 DO NOT SCALE THIS PRINT</small> | | | | |

8 7 6 5 4 3 2 1



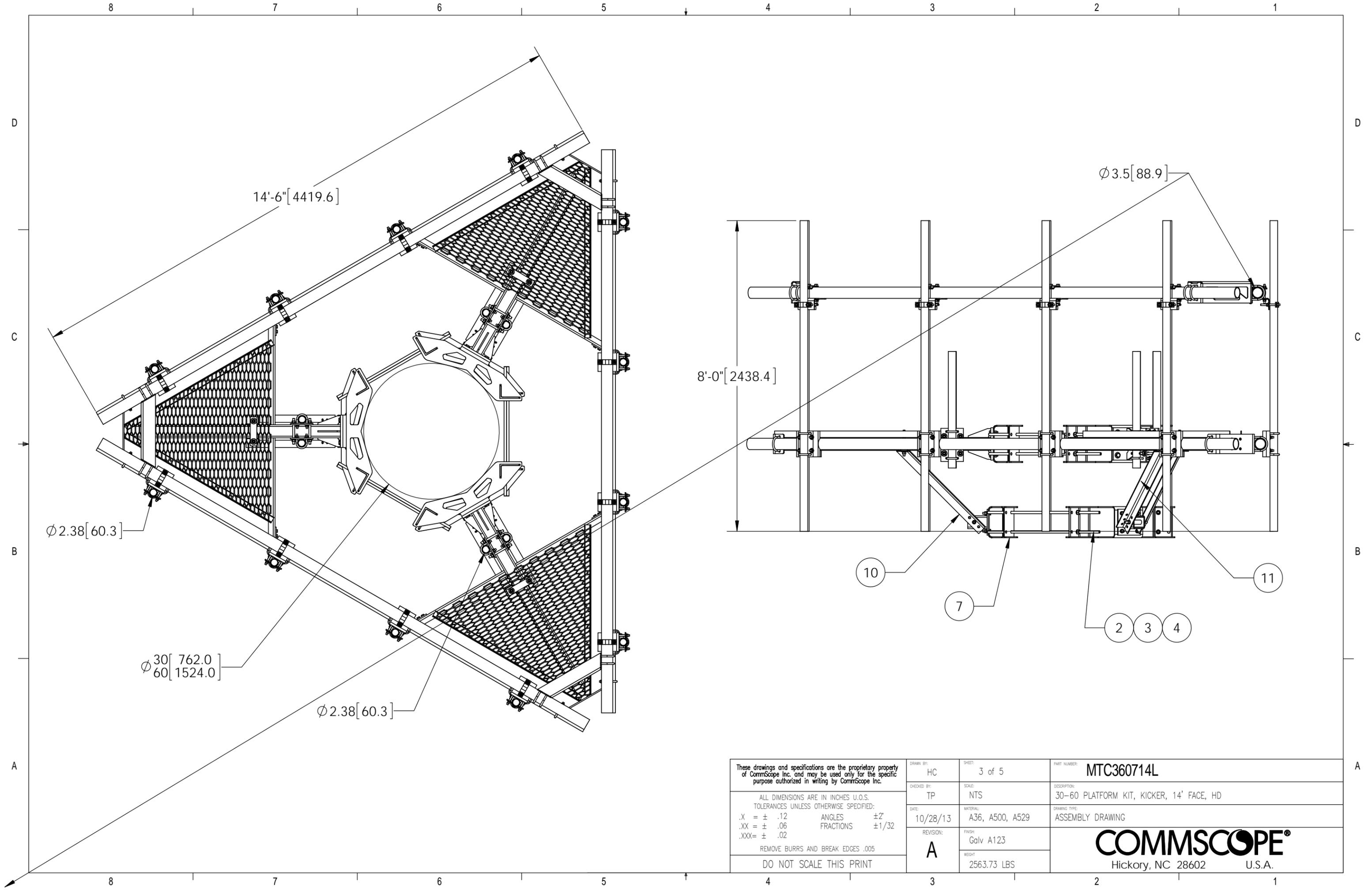
DETAIL A
SCALE 1 : 6
SOME ITEMS OMITTED
FOR CLARITY



DETAIL B
SCALE 1 : 8

| | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------|--------------------------------------|------------------------------------------------------------------|
| <p>These drawings and specifications are the proprietary property of CommScope Inc. and may be used only for the specific purpose authorized in writing by CommScope Inc.</p> <p>ALL DIMENSIONS ARE IN INCHES U.O.S. TOLERANCES UNLESS OTHERWISE SPECIFIED: .X = ± .12 ANGLES ±2° .XX = ± .06 FRACTIONS ±1/32 .XXX = ± .02</p> <p>REMOVE BURRS AND BREAK EDGES .005</p> <p>DO NOT SCALE THIS PRINT</p> | <p>DRAWN BY: HC</p> | <p>SHEET: 2 of 5</p> | <p>PART NUMBER: MTC360714L</p> |
| | <p>CHECKED BY: TP</p> | <p>SCALE: NTS</p> | <p>DESCRIPTION: 30-60 PLATFORM KIT, KICKER, 14' FACE, HD</p> |
| | <p>DATE: 10/28/13</p> | <p>MATERIAL: A36, A500, A529</p> | <p>DRAWING TYPE: ASSEMBLY DRAWING</p> |
| | <p>REVISION: A</p> | <p>FINISH: Galv A123</p> | <p>COMMSCOPE® Hickory, NC 28602 U.S.A.</p> |
| | <p>WEIGHT: 2563.73 LBS</p> | | |

8 7 6 5 4 3 2 1



14'-6" [4419.6]

Ø 2.38 [60.3]

Ø 30 [762.0]
Ø 60 [1524.0]

Ø 2.38 [60.3]

8'-0" [2438.4]

Ø 3.5 [88.9]

10

7

2

3

4

11

These drawings and specifications are the proprietary property of CommScope Inc. and may be used only for the specific purpose authorized in writing by CommScope Inc.

ALL DIMENSIONS ARE IN INCHES U.O.S.
TOLERANCES UNLESS OTHERWISE SPECIFIED:
.X = ± .12 ANGLES ±2°
.XX = ± .06 FRACTIONS ±1/32
.XXX = ± .02

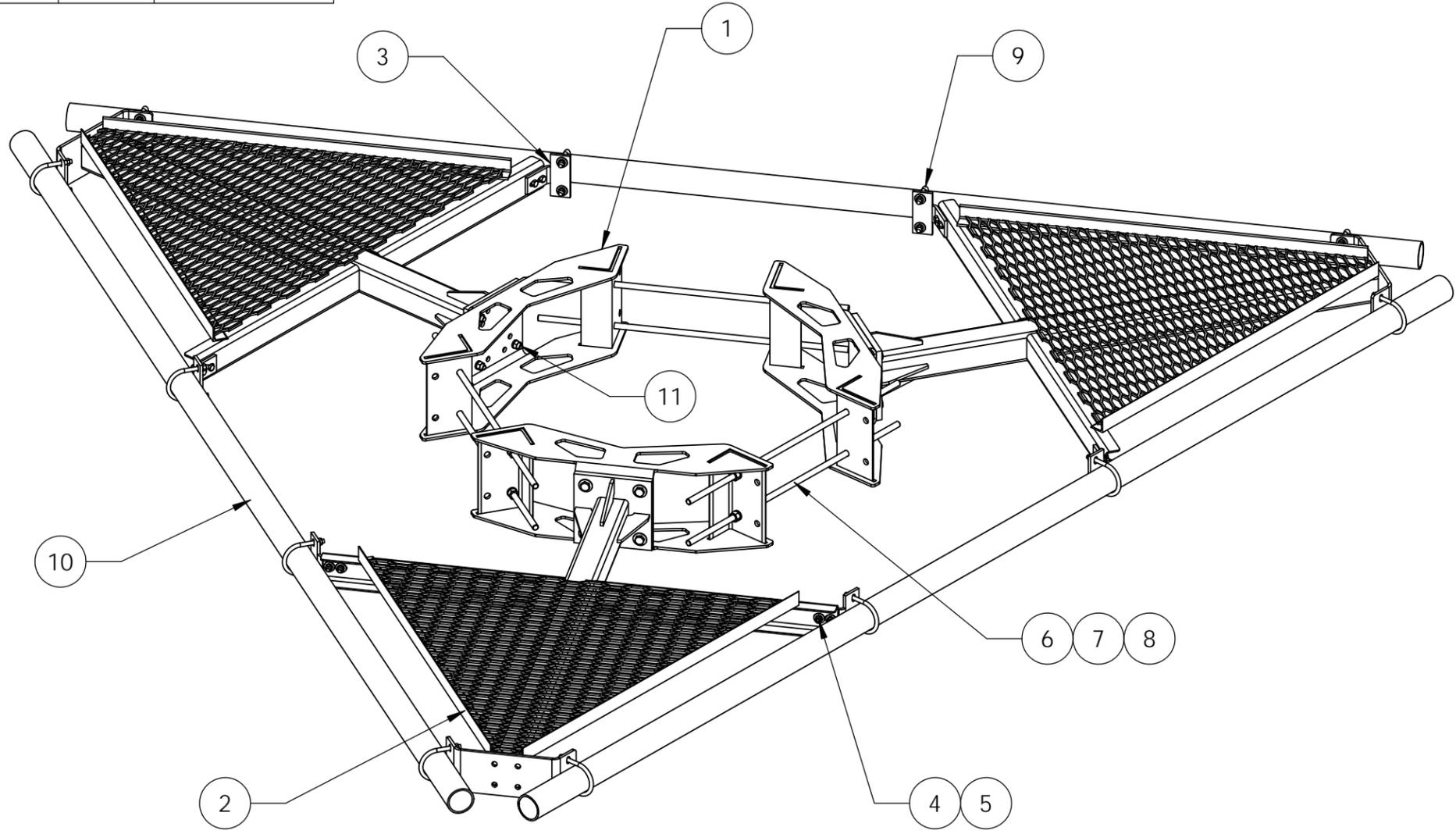
REMOVE BURRS AND BREAK EDGES .005

DO NOT SCALE THIS PRINT

| | |
|-----------------------|------------------------------|
| DRAWN BY: HC | SHEET: 3 of 5 |
| CHECKED BY: TP | SCALE: NTS |
| DATE: 10/28/13 | MATERIAL: A36, A500, A529 |
| REVISION: A | FINISH: Galv A123 |
| | WEIGHT: 2563.73 LBS |

| |
|----------------------------------------------------------|
| PART NUMBER: MTC360714L |
| DESCRIPTION: 30-60 PLATFORM KIT, KICKER, 14' FACE, HD |
| DRAWING TYPE: ASSEMBLY DRAWING |
| COMMSCOPE® Hickory, NC 28602 U.S.A. |

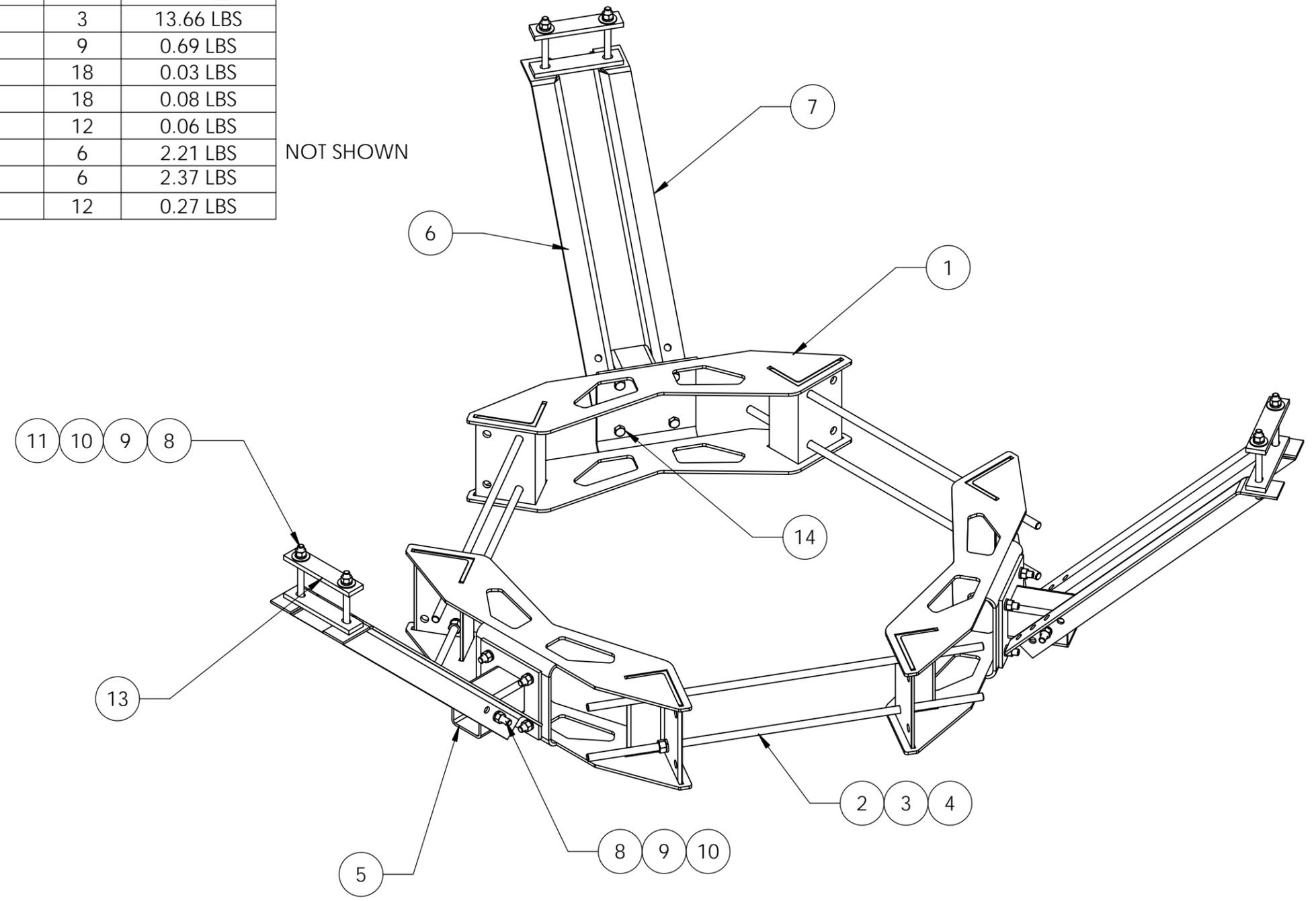
| ITEM | PART NO. | DESCRIPTION | QTY. | WEIGHT |
|------|------------|---------------------------------------|------|------------|
| 1 | RM3060 | 30"-60" Ring Mount Weldment | 3 | 63.09 LBS |
| 2 | MTC360701 | CO-LOCATION PLATFORM 140MPH | 3 | 177.85 LBS |
| 3 | MT196.17 | MT196 Pipe Mount Plate | 6 | 2.49 LBS |
| 4 | GB-04145 | 1/2" X 1-1/2" GALV BOLT KIT | 12 | 0.13 LBS |
| 5 | GWF-04 | 1/2" GALV FLAT WASHER | 12 | 0.03 LBS |
| 6 | MT38440 | 3/4" X 40" GALV THREADED ROD GRADE B7 | 6 | 4.98 LBS |
| 7 | GWL-06 | 3/4" GALV LOCK WASHER | 12 | 0.04 LBS |
| 8 | GN-06 | 3/4" GALV HEX NUT | 12 | 0.12 LBS |
| 9 | GUB-4355 | 1/2" X 3-5/8" X 5" GALV U-BOLT | 12 | 0.71 LBS |
| 10 | MT-547-174 | 3.5" O.D. X 174" PIPE | 3 | 109.27 LBS |
| 11 | GB-0522A | 5/8" X 2-1/4" GALV. BOLT KIT (A325) | 12 | 0.30 LBS |
| 12 | GWF-05 | 5/8" GALV FLAT WASHER | 12 | 0.06 LBS |



| | | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|-----------------------------|------------------------------------------------------|
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| | CHECKED BY: TP | SCALE: NTS | DESCRIPTION: LOW PROFILE CO-LOCATION PLATFORM KIT |
| | DATE: 10/28/13 | MATERIAL: A36, A53, A500 | DRAWING TYPE: ASSEMBLY DRAWING |
| | REVISION: A | FINISH: GALV A123 | Hickory, NC 28602 U.S.A. |
| WEIGHT: 1116.26 LBS | | | |

| ITEM | PART NO. | DESCRIPTION | QTY. | WEIGHT |
|------|-----------|---------------------------------------|------|-----------|
| 1 | MTC306505 | 3060 RM Weldment | 3 | 57.97 LBS |
| 2 | MT38440 | 3/4" X 40" GALV THREADED ROD GRADE B7 | 6 | 4.98 LBS |
| 3 | GWL-06 | 3/4" GALV LOCK WASHER | 12 | 0.04 LBS |
| 4 | GN-06 | 3/4" GALV HEX NUT | 12 | 0.12 LBS |
| 5 | MTC313802 | Kicker Mount Standoff | 3 | 13.08 LBS |
| 6 | MTC323718 | LEFT KICKER | 3 | 13.66 LBS |
| 7 | MTC323719 | RIGHT KICKER | 3 | 13.66 LBS |
| 8 | MT-381-8 | 5/8" X 8" GALV THREADED ROD | 9 | 0.69 LBS |
| 9 | GWL-05 | 5/8" GALV LOCK WASHER | 18 | 0.03 LBS |
| 10 | GN-05 | 5/8" GALV HEX NUT | 18 | 0.08 LBS |
| 11 | GWF-05 | 5/8" GALV FLAT WASHER | 12 | 0.06 LBS |
| 12 | DCP10 | SMALL CLAMP HALF | 6 | 2.21 LBS |
| 13 | MTC323704 | Clamp Bar | 6 | 2.37 LBS |
| 14 | GB-0520A | 5/8" X 2" GALV BOLT KIT (A325) | 12 | 0.27 LBS |

NOT SHOWN



| | | | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>These drawings and specifications are the proprietary property of CommScope Inc. and may be used only for the specific purpose authorized in writing by CommScope Inc.</p> <p>ALL DIMENSIONS ARE IN INCHES U.O.S. TOLERANCES UNLESS OTHERWISE SPECIFIED: .X = ± .12 ANGLES ±2° .XX = ± .06 FRACTIONS ±1/32 .XXX = ± .02</p> <p>REMOVE BURRS AND BREAK EDGES .005</p> <p>DO NOT SCALE THIS PRINT</p> | <p>DRAWN BY: HC</p> <p>CHECKED BY: TP</p> <p>DATE: 10/28/13</p> <p>REVISION: A</p> | <p>SHEET: 5 of 5</p> <p>SCALE: NTS</p> <p>MATERIAL: A36, A572</p> <p>FINISH: GALV A123</p> <p>WEIGHT: 367.76 LBS</p> | <p>PART NUMBER: MTC360714L</p> <p>DESCRIPTION: MT-197 Kicker Support, 30"-60" Monopole</p> <p>DRAWING TYPE: ASSEMBLY DRAWING</p> <p>COMMSCOPE® Hickory, NC 28602 U.S.A.</p> |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|



Application to Planning Commission and Board of Supervisors

Application For: (check appropriate boxes)
 Rezoning Rezoning & Special Use Permit Special Use Permit

Owner/Applicant Information: (Use current mailing/contact information for all property owners. An additional sheet may be attached for multiple owners.)

| | |
|--------------------------------------------------------|-------------------------------------------------------|
| Property Owner: <u>CITY OF RADFORD</u> | Agent: <u>DREN PATTERSON (VERIZON WIRELESS)</u> |
| Address: <u>10 ROBERTSON ST. RADFORD, VA 24141</u> | Address: <u>1831 RADY CT., RICHMOND, VA 23222</u> |
| Phone 1: <u>540-731-3603</u> | Phone 1: <u>804-363-0891</u> |
| Phone 2: <u>N/A</u> | Phone 2: <u>N/A</u> |
| Email: <u>info@radford.va.us</u> | Email: <u>d.patterson@nbc11c.com</u> |

Location of Property/ Site Address: TERMINUS OF PETERSON DRIVE.

Legal Record of Property: Total Area: 100 Acres Magisterial District Rumer

Parcel ID: 071097 Tax Parcel Number(s): _____

Rezoning Details: Current Zoning District: N/A Requested Zoning District: N/A

Desired Use(s): N/A

Special Use Permit: Current Zoning District A-1 Total Area/Acres: 100

Desired Use(s): New Verizon Wireless 199' monopole tower

Comprehensive Plan Designation: Rural

Traffic Impact Analysis Required: Yes (payment enclosed) No

I certify that the information supplied on this application and on the attachments provided (maps or other information) is accurate and true to the best of my knowledge. In addition, I hereby grant permission to the agents and employees of Montgomery County and State of Virginia to enter the above property for the purposes of processing and reviewing the above application.

| | | |
|------------------------------------------------------|-----------------------------------------|-------------------------|
| <u>[Signature]</u> David C. Kidpath, City Manager | <u>[Signature]</u> Agent's Signature | <u>10/21/13</u> Date |
| Property Owner(s) Signature | Date | |

FOR OFFICE USE ONLY

Date Received: _____ Application Number: _____

Traffic Impact Analysis and Payment Received: Yes No Date Submitted to VDOT: _____

GAIL COOK DEVILBISS, P.C.

A PROFESSIONAL CORPORATION

ATTORNEY AT LAW

POST OFFICE BOX 3562

RADFORD, VIRGINIA 24143-3562

1128 EAST MAIN STREET
RADFORD, VIRGINIA 24141

TELEPHONE: (540) 639-4056
TELECOPIER: (540) 639-5241
EMAIL: gcdlaw@verizon.net

January 31, 2014

Mr. Steve Sandy, Director
Planning Department
Montgomery County Government Center
755 Roanoke St., Ste. 2A
Christiansburg, Virginia 24073-3177

Re: SUP Application of Verizon Wireless
For a Communications Tower in Montgomery County, Virginia
Peterson Drive Site containing 0.230 Acres

Dear Mr. Sandy,

The City of Radford, Virginia, a municipal corporation, hereinafter referred to as the "City", is the fee simple owner of a large tract of land located, lying and being in the County of Montgomery, Virginia and containing a total area of approximately 100 Acres, more or less, identified as Tax Map Number 102-A-16, 17, Parcel ID Number 071097, and hereinafter referred to as the "Property".

The City acquired title to the Property by Deed dated August 2, 1984, from Alan D. Gillis, Substitute Trustee, and recorded in the Clerk's Office of the Circuit Court of the County of Montgomery, Virginia in Deed Book 492, Page 412, and said Deed is also recorded in the Clerk's Office of the Circuit Court of the City of Radford, Virginia in Deed Book 113, Page 396, a copy of which also enclosed herewith.

The City, as "Lessor" leased an unimproved portion of the Property to Cellco Partnership d/b/a Verizon Wireless, as the "Lessee" pursuant to a Land Lease Agreement dated July 6, 2008, hereinafter the "Lease". The portion of the Property leased is a parcel generally described as being 100' x 100' (10,000 square feet) and containing 0.230 Acres, and is referred to as the "Land Space", together with the non-exclusive 20' wide right, and is referred to as the "Rights of Way", for ingress and egress, for vehicular and pedestrian access from the nearest public right of way, Peterson Drive, to the Land Space, for the installation and maintenance of utility wires, poles, cables, conduits, and pipes over, under, or along one or more Rights of Way from the Land Space, and the Land Space and Rights of Way are collectively referred to as the "Premises".

The Premises are more accurately described in the legal description by metes and bounds for the area of the Land Space and the 20' Wide Right of Way, in Exhibit A and the surveys that are attached to a Memorandum of Lease dated July 6, 2008, memorializing the Lease, and recorded in the Clerk's Office of the Circuit Court of the County of Montgomery, Virginia, as Instrument Number 2008007611, a copy of which is also enclosed herewith, and reference is hereby made to said Memorandum of Lease for a more accurate description of the area of the leased Premises.

The Lease terms provide "the Lessee shall use the Premises for the purpose of constructing, maintaining, repairing and operating a communications facility and uses incidental thereto". The Lessee's use of the Premises also provides for the Lessee's ability to obtain, after the execution date of the Lease, all of the certificates, permits and other approvals, collectively the "Governmental Approvals" that may be required by any Federal, State or Local authorities and the City agreed "to cooperate with the Lessee in its effort to obtain such Governmental approvals for the use of the Premises".

Accordingly, the City of Radford, Virginia, as the owner and Lessor of the leased Premises, has been requested by the Lessee to consent to a request by the Lessee regarding the use of the Premises, in the form of an application by the Lessee requesting a Special Use Permit ("SUP") for the Premises, filed or to be filed with the Planning Department of Montgomery County, in order for the Lessee to pursue a necessary Governmental Approval for the use of the Premises as a communications tower project, hereinafter the "Project", as set forth in the SUP application dated October 21, 2013 of Verizon Wireless, and executed by Drew Patterson, as the agent (the "Agent").

The requested SUP application of the Lessee dated October 21, 2013, has been signed by the City Manager, Mr. David C. Ridpath, to set forth the consent of the City regarding the Lessee's application for the Premises, a copy of which is enclosed. I am also enclosing the approval provision of the Lease from the meeting of the Radford City Council on January 28, 2008, as you requested.

The SUP application of the Lessee is supported by and further described in the 14 pages of Project specifications and descriptions to be filed together with the SUP application entitled "Installation And Operation Antennas And Associated Equipment In A Rawland Area", dated August 22, 2013, revised October 7, 2013, revised November 1, 2013, revised December 3, 2013, and revised January 10, 2014, Comm. No. 3036.115, by Justin Y. Yoon, Professional Engineer, Clark Nexsen Architecture & Engineering, and hereinafter referred to as the "Project Description". As presented to the City, the Project Description was last revised on January 10, 2014, at the request of the City, to incorporate appropriate reference and certification that the area of the Premises for the Project and the Project Description applicable to the related SUP application of the Lessee is the same Premises as described under the Lease.

January 31, 2014

Page 3

Disclaimer of the City. The City has executed the enclosed SUP application, as a necessary party only to accommodate the Lessee's request and filing of the application for the SUP for the Premises owned by the City, to allow the Lessee to seek necessary Governmental Approval, pursuant to the terms of the Lease. The City has not conducted any reviews, evaluations, or determinations regarding the Project or the Project Description of the Lessee or their Agent. The City expressly asserts and denies any responsibility or liability for the Project, and/or the Project Description of the Lessee and/or their Agent, or for any construction, installation or operation of the Project of Lessee or their Agent. The City further expressly asserts and accepts no other responsibility or liability in any form or way for the Project, or for any costs or expenses associated with the application of the Lessee or their Agent, and/or any other compliance, permits, review, construction or any other acts or requirements as may be further required or necessary for the Project or the Project Description of Lessee and/or their Agent, and/or of or by the County of Montgomery, Virginia, and the City asserts and expressly denies any responsibility or liability whatsoever as to any matters or acts associated with the Project.

Please advise if you require any additional information from the City of Radford, Virginia.

Sincerely,



Gail Cook DeVilbiss
Radford City Attorney

GCD/mcm
enclosures

cc: Mr. David C. Ridpath, City Manager
Ms. Melissa Skelton, Zoning Administrator
Mr. Drew Patterson, Agent for Verizon

Additional Special Use Permit Requirements

The applicant for special use permit shall provide a statement of justification to address the following items in the application materials to demonstrate what impact the proposed request will have on the County's resources and how the request complies with Montgomery County's comprehensive plan.

Section 10-54(3)(g), Montgomery County Zoning Ordinance

Issues for Consideration: In considering a Special Use Permit application, the following factors shall be given reasonable consideration. The application shall address all the following in its statement of justification or Special Use Permit plat unless not applicable, in addition to any other standards imposed by this Ordinance:

1. Whether the proposed Special Use Permit is consistent with the Comprehensive Plan (Addressed under "3, Comprehensive Plan Justification").

The Comprehensive Plan designates the subject property as Rural. In accordance with the Comprehensive Plan, "the preferred land uses in Rural Areas are rural residential development and agriculture. The County seeks to maintain existing agricultural uses in Rural Areas." The proposed telecommunications facility is consistent with the Rural designation for the following reasons:

- New technologies used in agricultural processes, monitoring and equipment require reliable, high-quality wireless networks. This new telecommunications facility will enhance the existing wireless network to support agricultural activities in the area;
- Wireless technologies and devices are being incorporated into residential homes and equipment and are relied upon by the occupants of the residential homes. This new telecommunications facility will enhance the existing wireless network to support the wireless technologies and devices used in residential homes;
- The enhanced wireless network will provide better communication services to emergency responders operating on the network within this area.
- This new telecommunications facility will be located on a lease area that will measure only 10,000 sq. ft. As a result, the facility itself will have minimal impact on the use of this property and neighboring properties;
- The telecommunications facility will have limited visibility from surrounding properties for the following reasons:
 - It is in the middle of a 100 acre parcel at the end of Peterson Drive;
 - It is over 800 feet from the closest property line (i.e. western property line);

- It is surrounded by existing trees and the ground equipment will not be visible from adjacent properties.

2. Whether the proposed Special Use Permit will adequately provide for safety from fire hazards and have effective measures of fire control.

Verizon Wireless' communication equipment located on the ground will be stored in a pre-cast aggregate concrete building. Verizon Wireless' telecommunications facilities are constructed in accordance with all federal, state and local codes, including the Building Code. Therefore, there will be adequate safety and fire precautions.

3. The level and impact of any noise emanating from the site, including that generated by the proposed use, in relation to the uses in the immediate area.

Wireless facilities generally emanate little to no noise. A supporting emergency generator located within the fenced compound will emanate some standard noise. The generator is tested on an intermittent basis and runs only when the site loses electric power. This generator and the overall facility are surrounded by existing trees and will be over 800 feet from the closest property line. Therefore, on the rare occasion that the generator is running, it will not be heard from any adjacent properties.

4. The glare or light that may be generated by the proposed use in relation to uses in the immediate area.

The tower will not be lit, therefore, there will be no glare or light generated by the tower.

5. The proposed location, lighting and type of signs in relation to the proposed use, uses in the area, and the sign requirements of this Ordinance.

No signage will be placed on the tower. A standard informational sign will be placed on the fence to provide contact information. This standard informational sign will not be lit.

6. The compatibility of the proposed use with other existing or proposed uses in the neighborhood, and adjacent parcels.

This new telecommunications facility will provide enhanced network coverage relied upon by uses in the neighborhood and adjacent parcels, as discussed above. In addition, the enhanced network will help emergency responders communicate when using the network. While providing this enhanced network, the proposed tower will have minimal visibility from surrounding properties. There is no existing use on subject property. This new telecommunications facility will be compatible with adjacent parcels.

7. The location and area footprint with dimensions (all drawn to scale), nature and height of existing or proposed buildings, structures, walls, and fences on the site and in the neighborhood.

The tower will be 199' tall. The ground equipment shelter will have a height around 10.5'. The ice bridge connecting the shelter to the tower will have a height around 10.5'. The fence will be 9' tall with

the top 1' containing barbed wire. For more particular detail, please see sheets C-1, C-2, C-3, C-6, A-1 and S-3.

8. The nature and extent of existing or proposed landscaping, screening and buffering on the site and in the neighborhood.

The subject property is wooded with no existing improvements. The tower and ground equipment will be over 800' from the nearest property line. A minimal amount of trees will be removed, if any. The existing tree cover will be used as our landscaping screening and buffer, so no additional landscaping is proposed.

9. The timing and phasing of the proposed development and the duration of the proposed use.

VZW intends to construct the tower as soon as all approvals are granted. The tower will be constructed in one phase.

10. Whether the proposed Special Use Permit will result in the preservation or destruction, loss or damage of any topographic or physical, natural, scenic, archaeological or historic feature of significant importance.

The Federal Communications Commission requires wireless carriers to investigate whether a subject property has any historical or archaeological significance. During Verizon Wireless' due diligence on this property, no historical or archaeological significance was found. Modifications to the property will be limited to (i) removal of a few trees, if any, and (ii) standard grading for access and compound construction. Thus, the proposed telecommunications facility will not result in the preservation or destruction, loss or damage of any topographic or physical, natural, scenic, archaeological or historic feature of significant importance.

11. Whether the proposed Special Use Permit at the specified location will contribute to or promote the welfare or convenience of the public.

This new site will provide enhanced network coverage for Interstate 81, the nearby secondary roads, for businesses operating in the area, and for residents in the area. The new facility will also enhance network coverage for emergency responders using the network. Therefore, the benefits derived from the enhanced wireless network will improve the general welfare and convenience of the public.

12. The traffic expected to be generated by the proposed use, the adequacy of access roads and the vehicular and pedestrian circulation elements (on and off-site) of the proposed use, all in relation to the public's interest in pedestrian and vehicular safety and efficient traffic movement.

This new telecommunications facility will be unmanned. Trips to and from the facility will occur during initial construction and thereafter only during monthly service visits. Overall, this facility will generate very few trips and the existing circulation is more than sufficient to handle the minimal trips generated. Verizon Wireless will improve the existing access road to provide an access road standard for its facilities

and in compliance with local requirements. Vehicular safety and efficient traffic movement will be maintained.

13. Whether, in the case of existing structures proposed to be converted to uses requiring a Special Use Permit, the structures meet all code requirements of Montgomery County.

Not applicable; this will be a new facility.

14. Whether the proposed Special Use Permit will be served adequately by essential public facilities and services.

This is an unmanned facility that will not require public facilities or services.

15. The effect of the proposed Special Use Permit on groundwater supply.

This is an unmanned facility that will not require a groundwater supply.

16. The effect of the proposed Special Use Permit on the structural capacity of the soils.

This new telecommunications facility will have limited impact on the structural capacity of the soils. The tower, equipment building and ice bridge will require foundations and soils will be tested to ensure adequate structural capacity and to ensure the foundations are designed for the soils present in the ground.

17. Whether the proposed use will facilitate orderly and safe road development and transportation.

As noted above, this facility will generate very few trips and will have no impact on the transportation system. This facility will support a safe transportation system by providing improved wireless coverage. The Virginia Department of Transportation (VDOT) has reviewed the request and provided an e-mail stating that it is satisfactory, and that it will not impact the proposed I-81 New River Bridge / Interchange project

18. The effect of the proposed Special Use Permit on environmentally sensitive land or natural features, wildlife habitat and vegetation, water quality and air quality.

Verizon Wireless's standard due diligence on a property includes an investigation for sensitive features on the property. Verizon Wireless' investigation did not reveal any environmentally sensitive land or natural features, wildlife habitat and vegetation, water quality and air quality. Construction will require very little disturbance and few trees, if any, will be removed. This unmanned facility will have little to no impact on environmentally sensitive land or natural features, wildlife habitat and vegetation, water quality and air quality.

19. Whether the proposed Special Use Permit use will provide desirable employment and enlarge the tax base by encouraging economic development activities consistent with the Comprehensive Plan.

Our economy is becoming more reliant on mobile communications and mobile devices. Our economy now, and even more so in the future, is dependent on high quality, wireless networks. Business and residents will be judging our communities based on the availability of wireless networks to support their communications and business needs. Improving the network in this area will support the County's economic development activity by providing the mobile network businesses and their employees need to function and prosper in today's business environment.

20. Whether the proposed Special Use Permit considers the needs of agriculture, industry, and businesses in future growth.

This new telecommunications facility will improve the mobile network so that agriculture, industry and business can take advantage of the computing and communication power in our mobile devices to improve and grow their businesses and in turn to grow the local economy.

21. The effect of the proposed Special Use Permit use in enhancing affordable shelter opportunities for residents of the County.

This is an unmanned facility that does not provide habitable structures.

22. The location, character, and size of any outdoor storage.

There will be no outdoor storage. All equipment located on the ground will be located on or within the installations shown in the attached plans.

23. The proposed use of open space.

Open space is not applicable to this use. Verizon Wireless minimizes its compound size to only the square footage needed for carriers to locate on the tower.

24. The location of any major floodplain and steep slopes.

Sheet C-1 of the attached drawings indicates the site is located in the F.I.R.M. Zone "X" and no wetlands have been delineated. Sheet C-4 provides topographical information.

25. The location and use of any existing non-conforming uses and structures.

Not applicable. The subject property is undeveloped.

26. The location and type of any fuel and fuel storage.

Generator fuel will be diesel and will be stored as shown on Sheet C-2 of the attached drawings. All fuel will be stored and maintained in accordance with all laws in a locked, fenced compound.

27. The location and use of any anticipated accessory uses and structures.

There are no anticipated accessory uses. All structures that will be installed will be used in the operation of the wireless facility.

28. The area of each use; if appropriate.

The 10,000 square foot lease area will be used only for a wireless facility, together with an area to provide access and utilities to the facility.

29. The proposed days/hours of operation.

The wireless network works on a 24/7 basis. Service visits are during work week hours except in case of an emergency.

30. The location and screening of parking and loading spaces and/or areas.

There are no loading spaces or areas. Temporary parking will take place on the access road and the existing vegetation will provide natural screening for the temporary parking area.

31. The location and nature of any proposed security features and provisions.

The facility will be surrounded by a 9' tall fence with barbed wire at the top. Detail for this fence is shown on Sheet C-6.

32. The number of employees.

This is an unmanned facility with monthly maintenance visits typically conducted by one person.

33. The location of any existing and/or proposed adequate on and off-site infrastructure.

The property is undeveloped and there is no existing infrastructure. VZW will build an adequate access road from the terminus of an existing gravel access road to the lease area.

34. Any anticipated odors, which may be generated by the uses on site.

No odors are generated by the operation of a wireless facility. Standard emissions from the generator will occur during testing and emergency operation.

35. Whether the proposed Special Use Permit uses have sufficient measures to mitigate the impact of construction traffic on existing neighborhoods and school areas.

Limited construction activity will take place for a few days and will occur over 800' from the nearest property line. This minimal construction activity will have little impact on the community, especially on any nearby neighborhoods and schools.

5506020-2 019496.03971

Drew Patterson

From: Jones, JohnC (VDOT) <JohnC.Jones@VDOT.Virginia.gov>
Sent: Monday, December 09, 2013 11:20 AM
To: Drew Patterson
Subject: RE: Verizon Wireless new tower in Montgomery Co. - need info from VDOT

Drew,

We have reviewed your request to place a Verizon Wireless tower off rt. F056 (Peterson Drive) and found it to be satisfactory, and will not impact the proposed I-81 New River Bridge / interchange project.

Thanks,

John

From: Drew Patterson [<mailto:dpatterson@nbcllc.com>]
Sent: Monday, November 04, 2013 9:38 AM
To: Jones, JohnC (VDOT)
Subject: Verizon Wireless new tower in Montgomery Co. - need info from VDOT

John,

Attached you will find the plans for our new tower. The County requires the following information from you for this request:

A letter from VDOT shall be provided which states either an entrance and/or street(s) can be built to meet VDOT minimum standards or listing improvements necessary to allow development.

Please let me know if you need any additional information to provide this letter.

Thanks,

Drew C. Patterson

Senior Project Manager

NETWORK BUILDING + CONSULTING

4435 Waterfront Drive | Suite 100 | Glen Allen, VA | 23060

804-363-0891 | networkbuilding.com

NB | C
TOTALLY COMMITTED



Site Name: Peterson
Wireless Communication Facility
5480 Peterson Drive
Radford, VA 24141

Photograph Information:
I-81 Southbound
View from the West
Showing the Balloon Fly

NBIC[™]
TOTALLY COMMITTED.



Site Name: Peterson
Wireless Communication Facility
5480 Peterson Drive
Radford, VA 24141

Photograph Information:
I-81 Southbound
View from the West
Showing the Proposed Site

NBIC[™]
TOTALLY COMMITTED.



Site Name: Peterson
Wireless Communication Facility
5480 Peterson Drive
Radford, VA 24141

Photograph Information:
Exit 105
View from the West
Showing the Balloon Fly

NBIC[™]
TOTALLY COMMITTED.



Site Name: Peterson
Wireless Communication Facility
5480 Peterson Drive
Radford, VA 24141

Photograph Information:
Exit 105
View from the West
Showing the Proposed Site

NBC
TOTALLY COMMITTED.



Site Name: Peterson
Wireless Communication Facility
5480 Peterson Drive
Radford, VA 24141

Photograph Information:
Centre Court
View from the Northwest
Showing the Balloon Fly

NBC[™]
TOTALLY COMMITTED.



Site Name: Peterson
Wireless Communication Facility
5480 Peterson Drive
Radford, VA 24141

Photograph Information:
Centre Court
View from the Northwest
Showing the Proposed Site

NBC[™]
TOTALLY COMMITTED.



Site Name: Peterson
Wireless Communication Facility
5480 Peterson Drive
Radford, VA 24141

Photograph Information:
Dry Valley Road
View from the East
SITE NOT VISIBLE

NBC[™]
TOTALLY COMMITTED.



Site Name: Peterson
Wireless Communication Facility
5480 Peterson Drive
Radford, VA 24141

Photograph Information:
Corporate Drive
View from the Northwest
Showing the Balloon Fly





Site Name: Peterson
Wireless Communication Facility
5480 Peterson Drive
Radford, VA 24141

Photograph Information:
Corporate Drive
View from the Northwest
Showing the Proposed Site

NBIC
TOTALLY COMMITTED.



Site Name: Peterson
Wireless Communication Facility
5480 Peterson Drive
Radford, VA 24141

Photograph Information:
Charmont Drive
View from the North
Showing the Balloon Fly

NBIC[™]
TOTALLY COMMITTED.



Site Name: Peterson
Wireless Communication Facility
5480 Peterson Drive
Radford, VA 24141

Photograph Information:
Charmont Drive
View from the North
Showing the Proposed Site

NBC
TOTALLY COMMITTED.

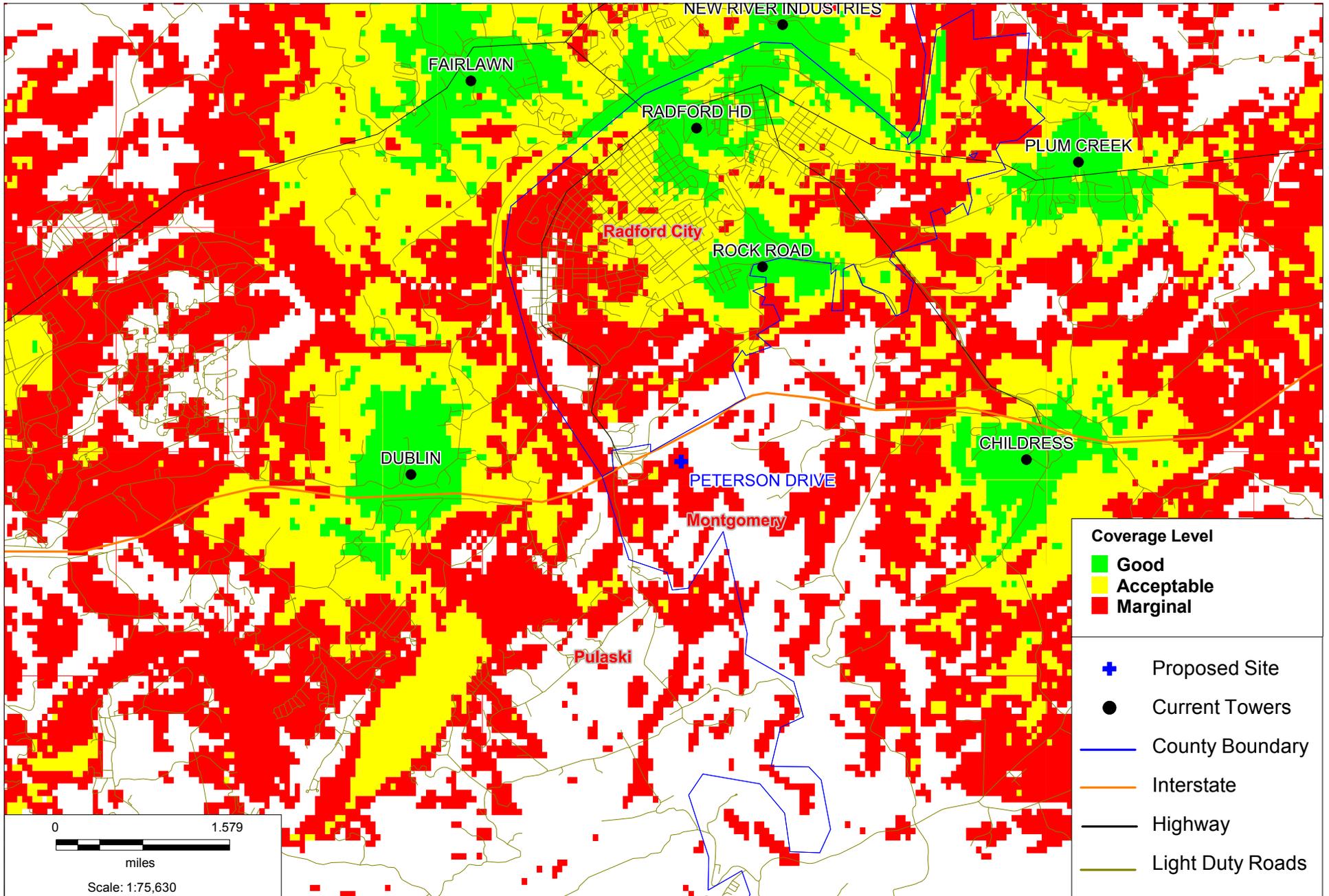


Site Name: Peterson
Wireless Communication Facility
5480 Peterson Drive
Radford, VA 24141

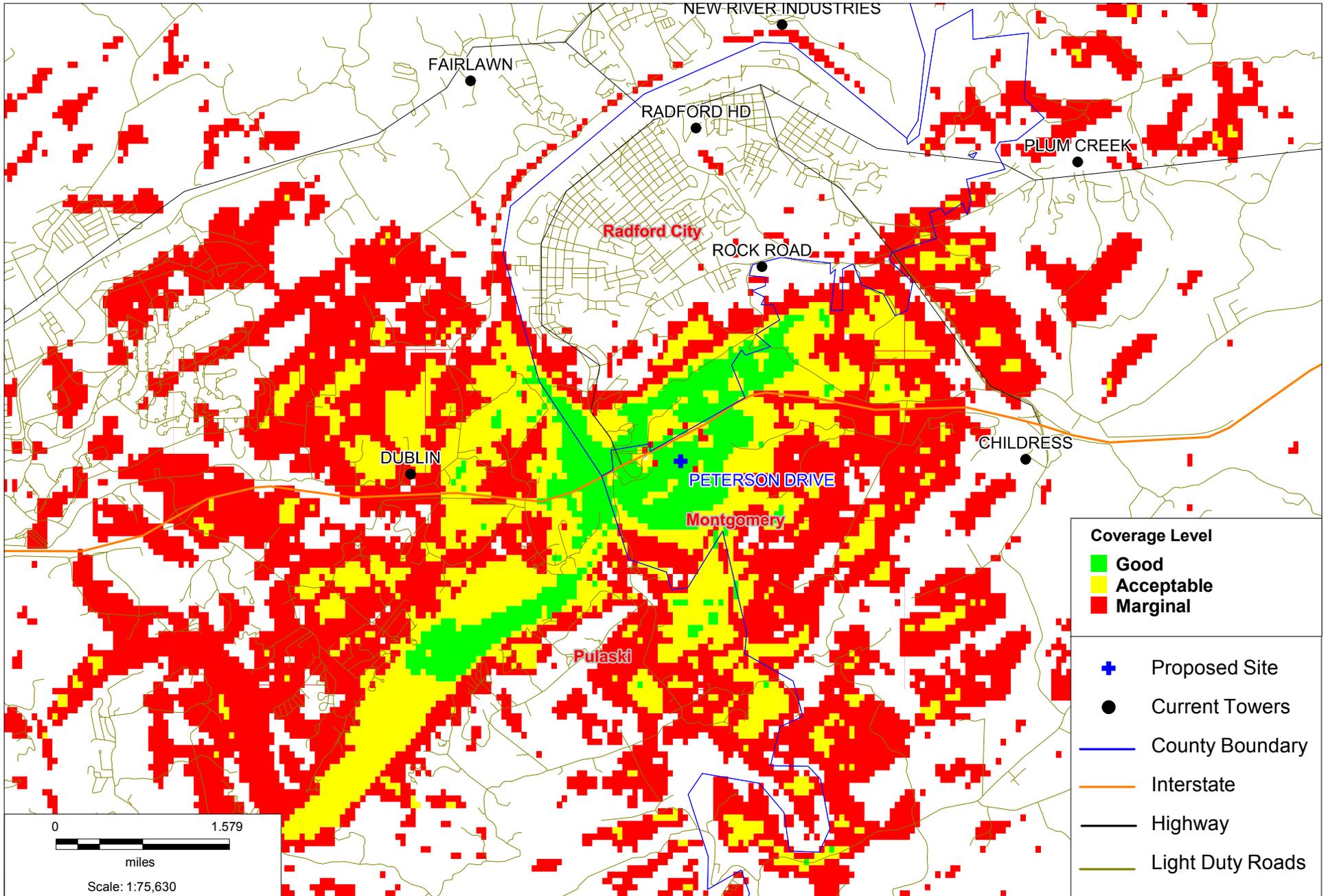
Photograph Information:
Little River Road
View from the South
SITE NOT VISIBLE

NBIC
TOTALLY COMMITTED.

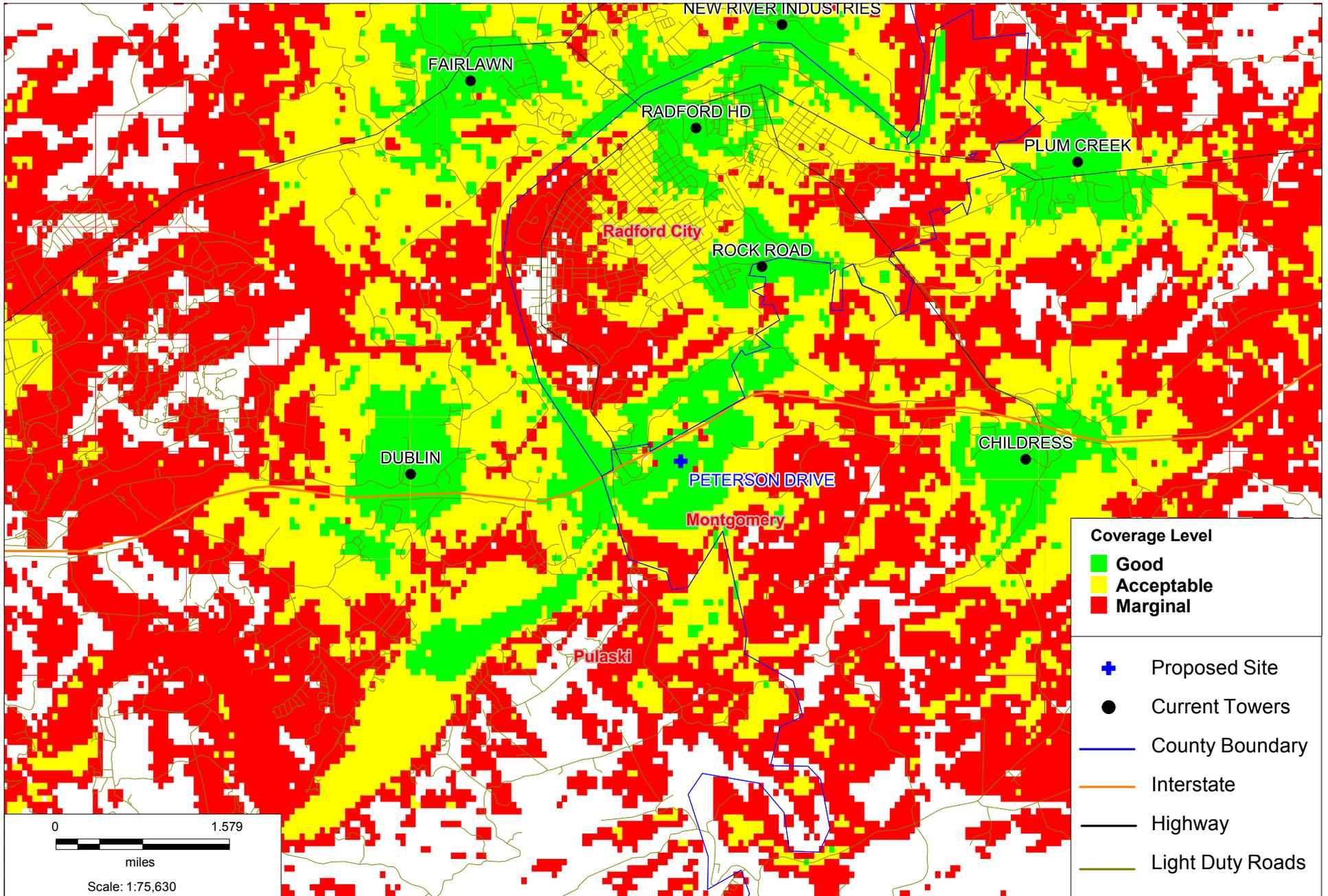
Current Coverage



Peterson Drive at 195' AGL



Proposed Coverage at 195' AGL





Verizon Wireless
1831 Rady Court
Richmond, Virginia 23222

April 11, 2014

Montgomery County Planning Department
Attn: Karen Drake, Planning Director
755 Roanoke St., Ste. 2A
Christiansburg, VA 24073-3177

**RE: Verizon Wireless Proposed Tower – Response to material requested by County
Site Name: Peterson Drive (5480 Peterson Drive - Parcel ID: 71097)**

Dear Ms. Drake:

Per your letter to me, dated April 4, 2014, Verizon Wireless provides the following requested material:

1. *Provide a detailed evaluation of all potential sites for colocation possibilities as detailed 236, and 258-259 of the Comprehensive Plan (enclosed). When printing propagation maps and/or other maps for illustration, please provide the ownership information and 911 address of each facility along with general road names to help reviewers identify each site. See attached.*
2. *Provide documentation the balloon test performed on January 16, 2014 was flown from the correct location. See attached.*

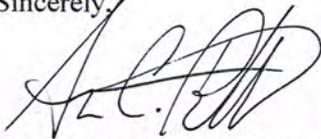
Furthermore, in accordance with the Montgomery County Zoning Ordinance, *Sec. 10-48.1, Additional regulations for special uses*, Verizon Wireless addresses the following:

- (6) *Telecommunications towers, freestanding.*
 - (a) *Such towers shall be maintained with a galvanized steel finish or be painted a neutral color. The proposed tower will be painted with a galvanized steel finish.*
 - (b) *Dish antennas shall be a neutral, non-reflective color. All proposed dish antennas will be a neutral, non-reflective color.*

- (c) *No logos or advertising of any kind shall be permitted on towers, antennas or any accompanying structures or facilities. There will be no logos or advertising of any kind on towers, antennas or any accompanying structures or facilities.*
- (d) *A written agreement for permitting future co-locations of telecommunications facilities shall be provided by the tower owner and maintained to the satisfaction of the zoning administrator. See attached letter.*
- (e) *A written agreement assuring prompt removal of the tower upon abandonment, at the responsibility and cost of the tower owner or landowner shall be provided and maintained to the satisfaction of the zoning administrator. See attached letter.*
- (f) *All towers shall comply with all Federal Aviation Administration (FAA) requirements including those relating to the Virginia Tech Airport. See attached letter.*

Should there be a second site visit by the Planning Commission, you will need to obtain a key from the Radford Police Department at 20 Robertson Street since there is a gate to the property that is sometimes locked. As requested by staff, our surveyors have clearly marked the access easement as well as the proposed tower site.

Sincerely,

A handwritten signature in black ink, appearing to read 'Drew C. Patterson', written over a horizontal line.

Drew C. Patterson, Zoning Manager
Consultant for Verizon Wireless
804-363-0891
dpatterson@nbcllc.com



Verizon Wireless
1831 Rady Court
Richmond, Virginia 23222

April 14, 2014

Montgomery County Planning Department
Attn: Karen Drake, Planning Director
755 Roanoke St., Ste. 2A
Christiansburg, VA 24073-3177

**RE: Verizon Wireless Proposed Tower – Evaluation of colocation opportunities
Site Name: Peterson Drive (5480 Peterson Drive - Parcel ID: 71097)**

Dear Ms. Drake:

Attached you will find propagation maps of the following sites:

- *Proposed Verizon Wireless tower at 195 feet (5480 Peterson Drive) – this site closes the coverage rings with other towers while also providing “good” to “acceptable” coverage along Interstate 81 from the river east for approximately 1.6 miles (i.e. the needed coverage area);*
- *Colocation on existing 183 foot Crown monopole tower (4619 Cornbread Road) – this site will not close the coverage rings and would provide “no” coverage along Interstate 81 from the river east for approximately 1.4 miles;*
- *Colocation on existing Charmont (Ingles Mountain) 60 foot water tank (Adjacent to (left of) 121 Charmont Drive) – this site would only provide “acceptable” or “marginal” coverage at any point along Interstate 81. Providing only “acceptable” or “marginal” coverage will not be sufficient to meet VZW’s coverage objectives.*

VZW also analyzed the following sites for colocation as requested by staff:

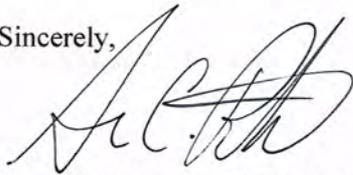
- *Colocation on existing Charmont AT&T 60 foot wood pole (Corporate Drive - City of Radford) – Since this tower is wood, it will not structurally support VZW’s equipment. A new (steel) tower would need to be installed at this site in order to accommodate additional carriers. However, since this tower is only 60 foot and the site is so far from the needed search ring, it would not serve VZW’s coverage objective even if a steel monopole was reconstructed at this location.*

- *Colocation on three (3) AEP transmission towers (as identified by staff - see attachment for locations) – VZW contacted AEP to find out (1) the height of the towers and (2) the material the towers were comprised of. Davie Key, AEP Business Development Director, responded to our inquiry with the following statement:*

“Drew, our engineer looked up the sites you mentioned. All of them are wooden poles and if Verizon wanted to move forward with any of them, the structure would have to be replaced with a bigger and taller structure to accommodate this request. With most of these requests, the wooden pole would have to be replaced with a larger and taller steel pole to accommodate Verizon’s equipment. With the number of projects we have in engineering right now, it would probably be late in the year before we could finalize the design and there is a long lead time on securing the necessary replacement pole. At best, you would probably be looking at the middle of next year before construction could begin if this moved forward shortly.”

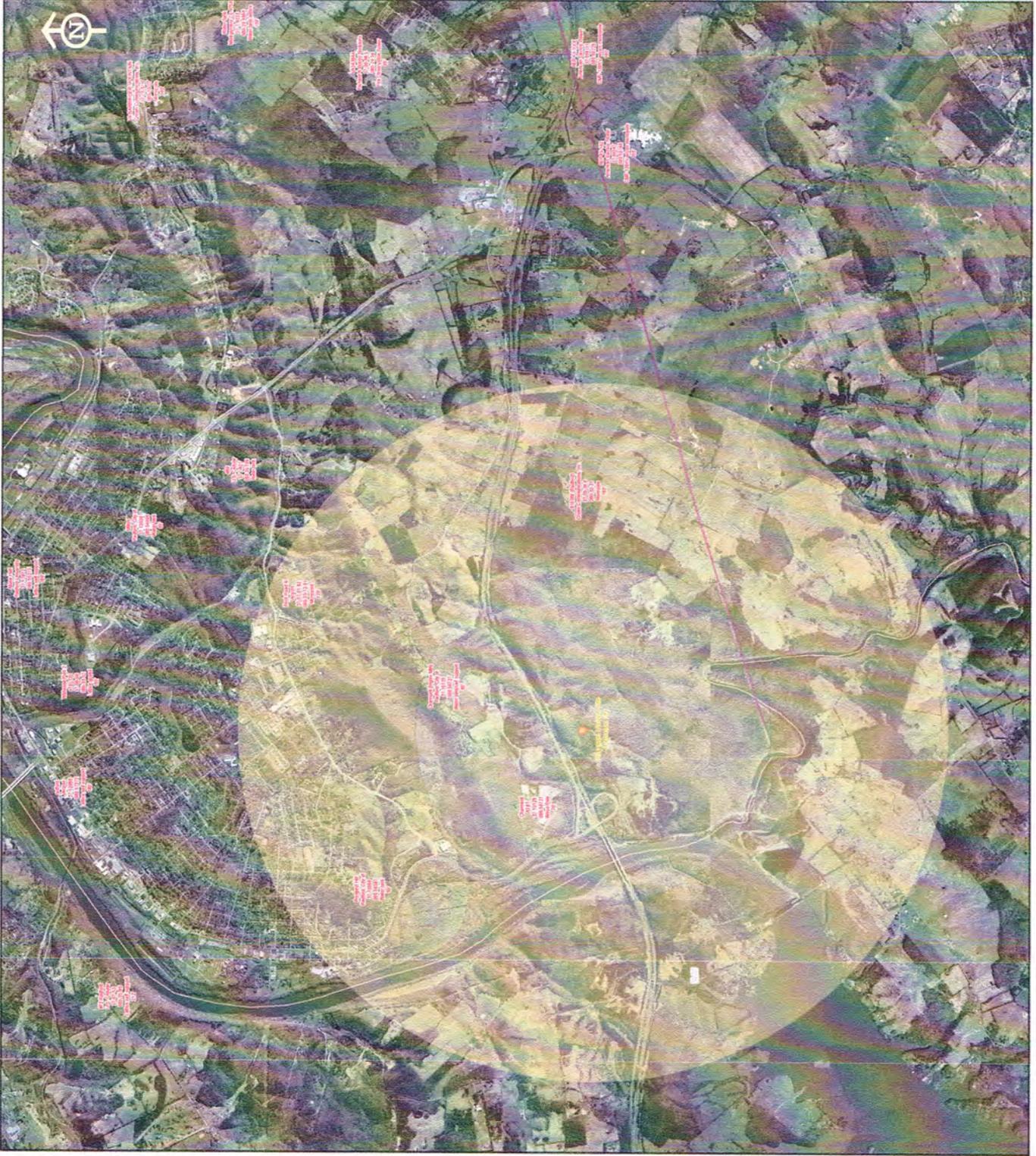
Based on Mr. Key’s statement, the three transmission towers would not meet VZW’s needs since (1) they would need to be replaced with taller steel structures and (2) they would not be available within a reasonable timeframe. Mr. Key also advised of AEP’s desire to move away from allowing wireless carriers to collocate on transmission towers. Evidently, safety concerns regarding maintenance and the rising costs of allowing collocations are primary reasons for this new position.

Sincerely,



Drew C. Patterson, Zoning Manager
Consultant for Verizon Wireless
804-363-0891
dpatterson@nbcllc.com

Known Communication Structures near Proposed Verizon site



(C) Plummer Cove 2012

4 Miles

2

1

0

Legend

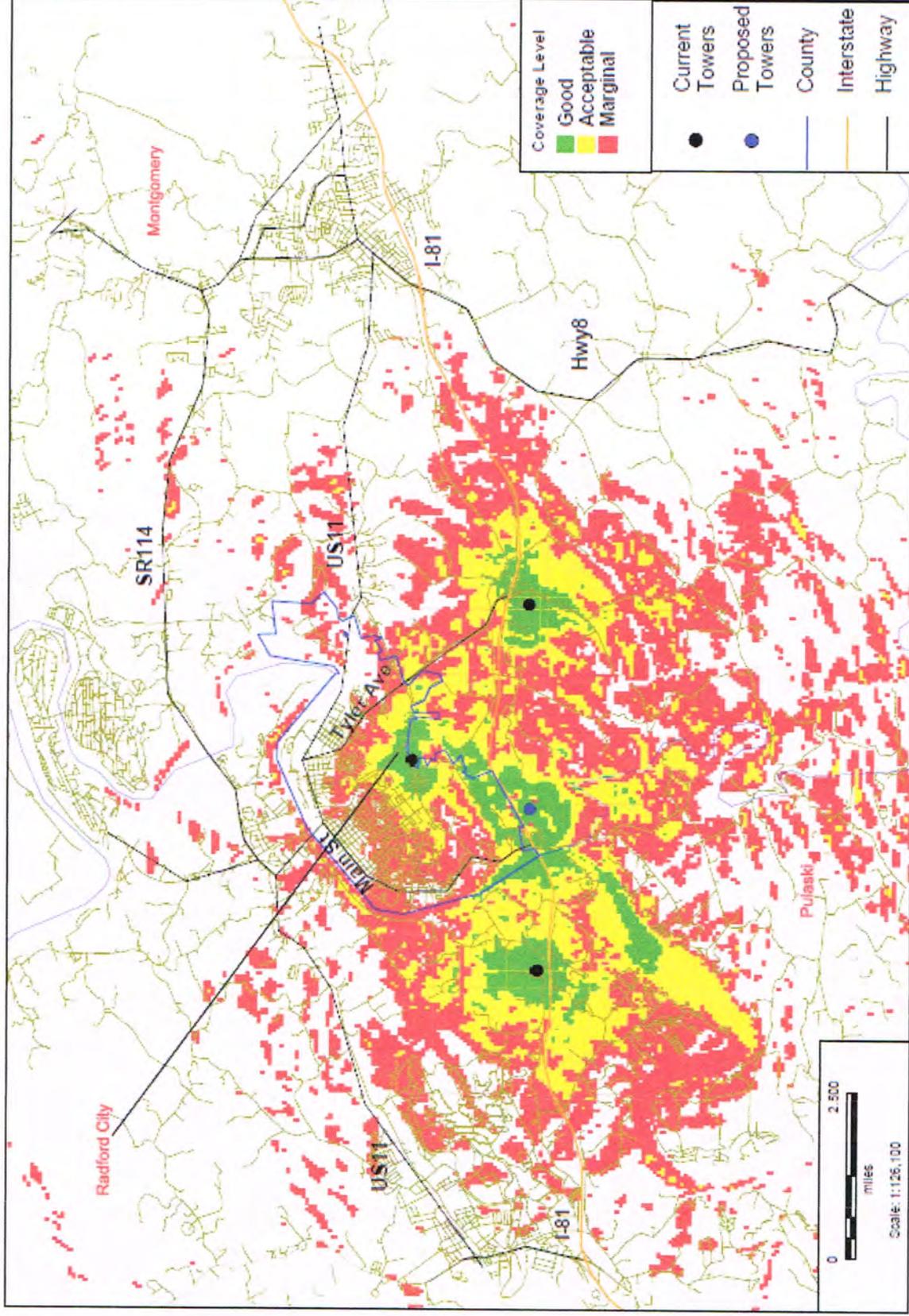
- 1 mile buffer
- 2 mile buffer
- Verizon Peterson
- AEP Power Lines



Montgomery County, VA
Planning & Zoning

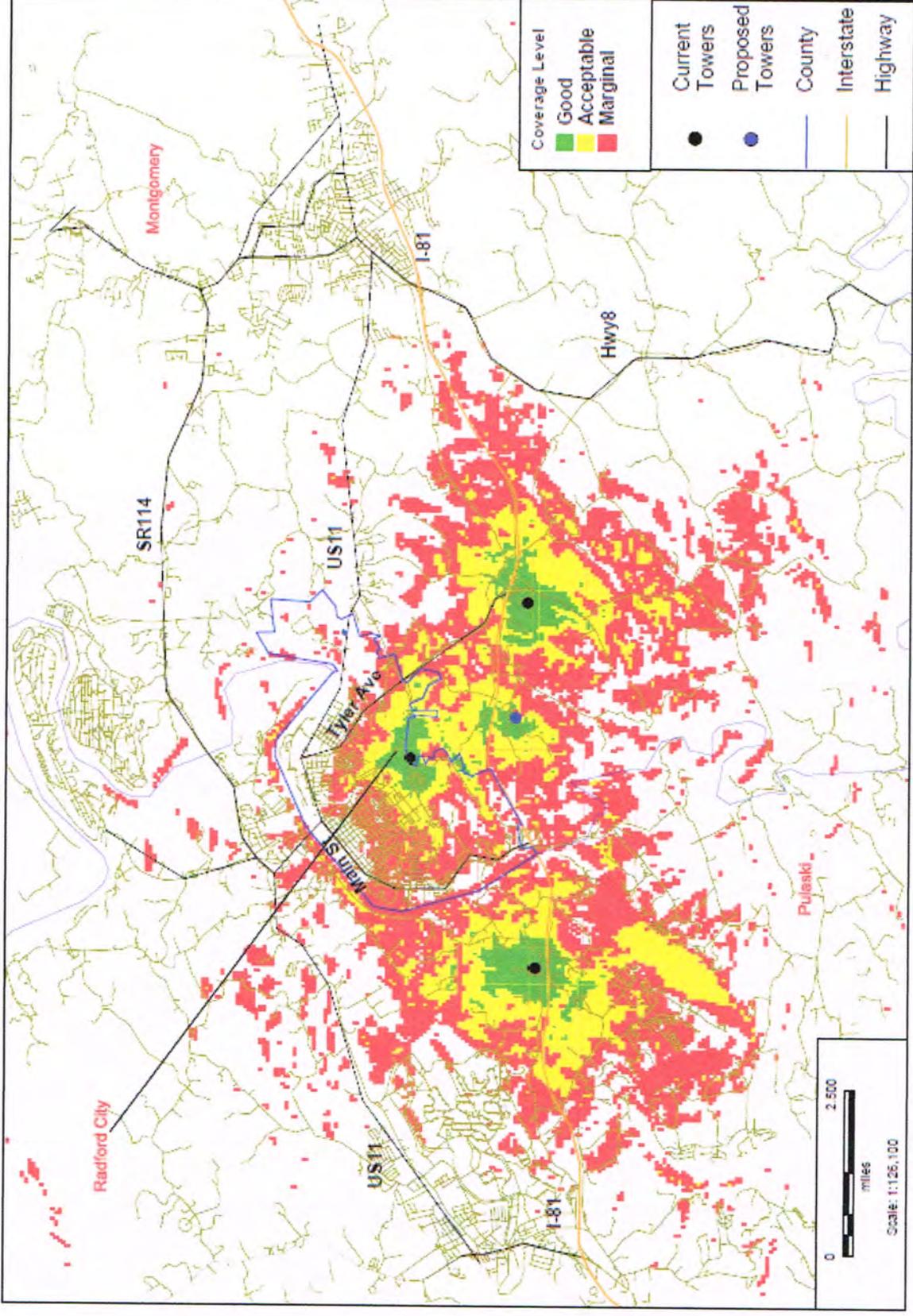
Montgomery County, Virginia Disclaimer
 Information shown on this map is for reference purposes only and the Montgomery County Board of Supervisors or Planning & Zoning Services are not responsible for any inaccuracies herein contained. No responsibility is assumed for damages or other liabilities due to the accuracy, availability, use or misuse of the information herein shown.
 The information shown herein is to be used for reference purposes only and is not to be construed or used as legal or official determination of Official County, State, or Federal records. Data is believed to be accurate, but is not guaranteed.
 In no event shall Montgomery County be liable for any damages that might arise from the use of the information shown.

Proposed Coverage - Full Array Peterson Drive @ 195 FT AGL



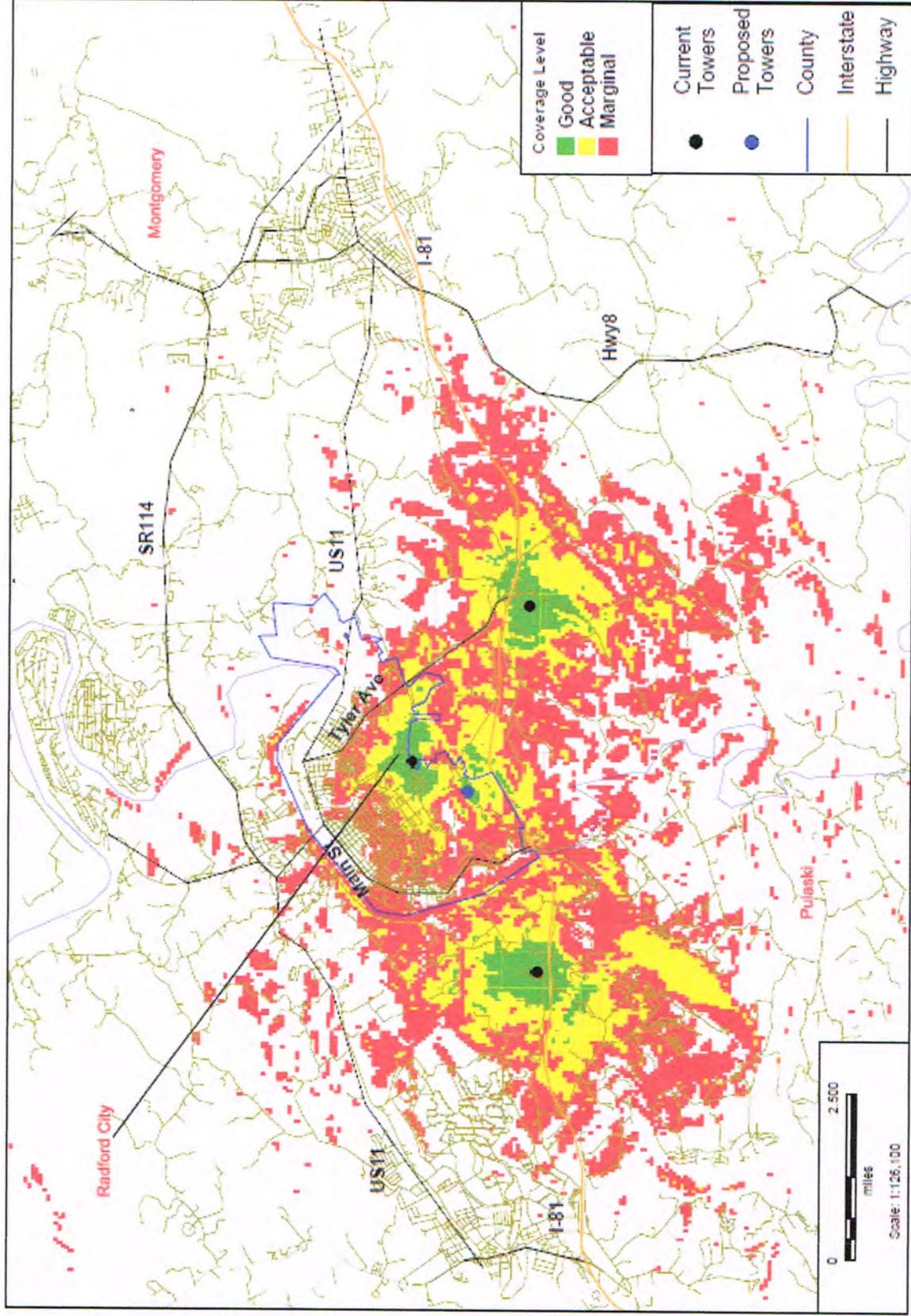
5480 Peterson Drive (Owner: City of Radford)

Proposed Coverage - Crown 816389 @ 183 FT AGL



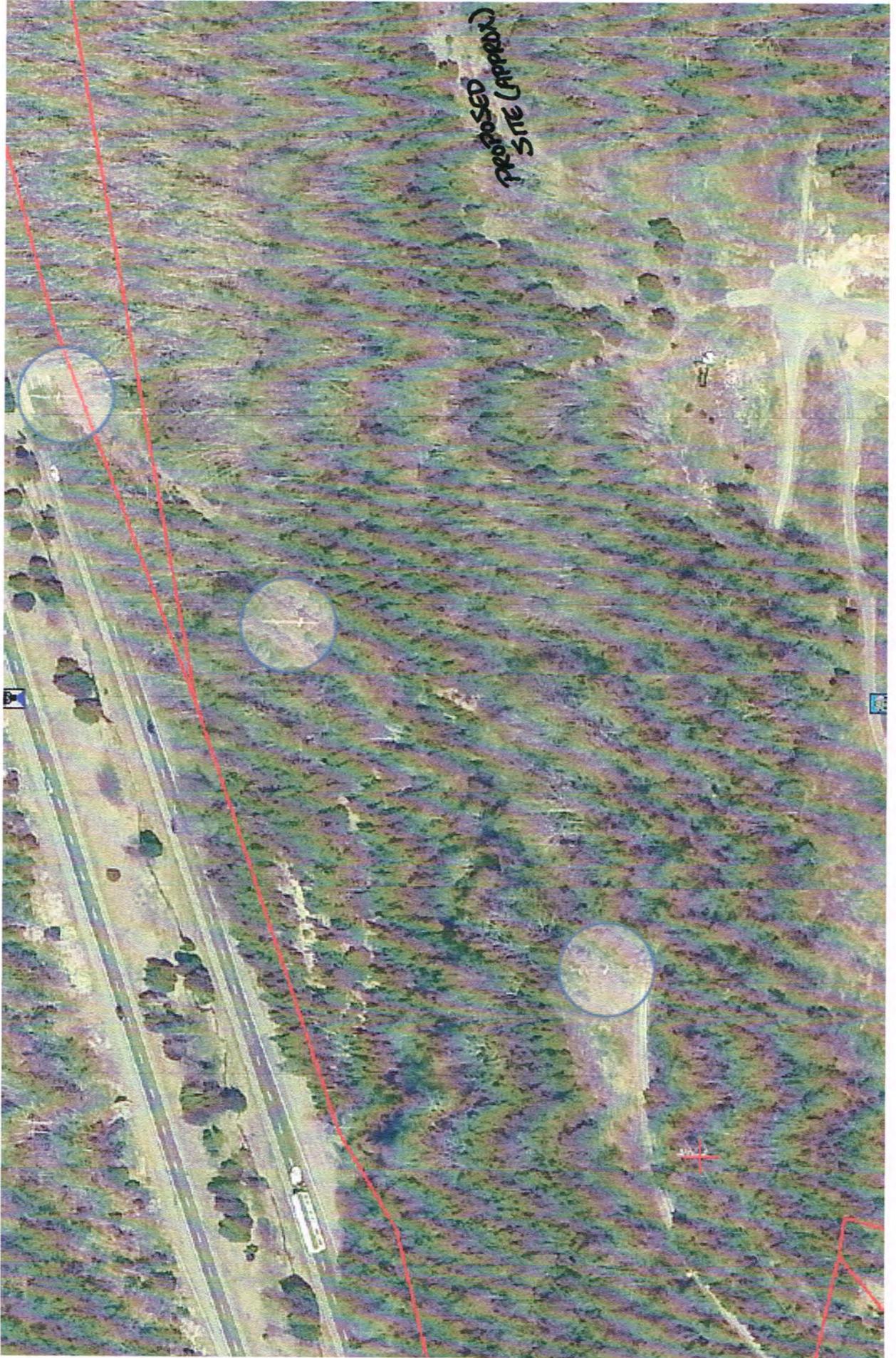
4619 Cornbread Road (Owner: Arvil Duncan)

Proposed Coverage - Charmont @ 60 FT AGL



Charmont Watertank - Adjacent to (left of) 121 Charmont Drive (Owner: City of Radford)

AEP Transmission Towers



Balloon Test Narrative

NB+C Engineering Services, LLC.
7380 Coca Cola Drive, Suite 106
Hanover, MD 21076

April 7th, 2014

**RE: Verizon Wireless – Peterson Drive
Balloon Test Narrative
5480 Peterson Drive
Radford, VA 24141
Parcel ID# 071097**

Drew:

NB+C conducted a balloon test on January 16th, 2014 between 7:30AM and 5:15PM for the proposed Peterson Drive site located at 5480 Peterson Drive, Radford, Virginia 24141 (Parcel ID# 071097). Matthew Jamerson, an Engineer 1, conducted the balloon test on behalf of NB+C. In accordance with the Peterson Drive Final Construction Drawing (dated 12/03/13), the 3 ft red weather balloon was anchored at latitude 37° 05' 29.5" N, longitude 80°34'01.3" W.

Access to the proposed site is secured by a locking gate Montgomery County provided a key in order to allow use of the access road. The physical description of the proposed tower center was the middle of a natural circle of trees near the peak of a trail at which the access road ends.

We had fair winds at 4mph base winds with 16mph gusts documented with time stamped weather reports from the closest weather station.

Feel free to contact us with any questions.

Sincerely,



Dan Tully
Project Manager



Verizon Wireless
1831 Rady Court
Richmond, Virginia 23222

April 14, 2014

Montgomery County Planning Department
Attn: Karen Drake, Planning Director
755 Roanoke St., Ste. 2A
Christiansburg, VA 24073-3177

RE: Verizon Wireless Proposed Tower – Future colocation agreement
Site Name: Peterson Drive (5480 Peterson Drive - Parcel ID: 71097)

Dear Ms. Drake:

In accordance with the Montgomery County Zoning Ordinance, *Sec. 10-48.1(d), Additional regulations for special uses*, regarding future colocations, Verizon Wireless agrees to allow colocations on the proposed tower so long as it is done in accordance with Verizon Wireless' colocation policy (attached). Verizon Wireless proposes the following condition of approval to address future colocations:

"The tower shall include, at no cost to the County, space at the highest available location, or other location to be determined by the County (excluding the top position), for installation by the County of components for its communication system(s). The County's use of the tower shall be in accordance with the Verizon Wireless Collocation Guidelines (to be included with the application). The County shall enter into a non-transferable "no rent" license agreement with the tower owner allowing non-commercial use for emergency communication services of an agreed to location on the tower and the related ground space for the County."

Sincerely,

A handwritten signature in black ink, appearing to read "Drew C. Patterson".

Drew C. Patterson, Zoning Manager
Consultant for Verizon Wireless
804-363-0891
dpatterson@nbcllc.com



Verizon Wireless
Washington/Baltimore/Virginia
Network Engineering
1831 Rady Court
Richmond, VA 23222
804-347-2572

Verizon Wireless Collocation Guidelines **Washington/Baltimore/Virginia**

The Verizon Wireless (VZW) Collocation Guidelines are intended to outline/govern the site design, development, approval, and documentation process for collocation on an existing VZW communications facility.

Application and General Lease Process

Application Submittal

Collocator must submit a complete electronic version of VZW Collocation Application to (Processing RE manager) along with the following by separate cover:

- *Application fee (if applicable)
- *Site sketch depicting the existing compound layout and Collocator's desired equipment/shelter location
- *Digital photographs of site verifying information contained on sketch showing the structure and ALL existing antennas
- *Manufacturer's antenna specification sheet detailing Collocator's proposed antennas

Preliminary Application Approval

1. After review and a preliminary approval by VZW of collocator's site application, VZW will:
 - A. Notify Collocator of any extraordinary issues at the requested site to include: tower loading/spacing limitations, ground space limitations, requirements for separate agreement with VZW's prime lessor, special requirements regarding zoning at the site, and any applicable extraordinary site fees or costs.
 - B. Schedule a preliminary site meeting w/ Collocator to confirm the feasibility of the proposed antenna location on the structure and of Collocator's equipment at the site.

Lease Exhibit Drawing Approval

2. Collocator will submit a lease exhibit along with preliminary drawings for VZW review and approval. All drawings (see drawing requirements) must be reviewed and approved by the appropriate VZW construction manager prior to permitting and pre-construction activities.
3. VZW will provide executable SLAs to the collocator along with due diligence documentation which VZW has available.

NOTE: All notifications to local/state or federal regulatory agencies or required modifications to VZW existing SHPO/FAA/FCC or any other regulatory approval related to the communications site must be submitted to the regulatory agency through VZW only. Collocators on VZW towers are not authorized to send requests directly to any regulatory agencies without specific VZW approval.

4. Following full execution of a lease for the site and VZW review and approval of Collocator's construction drawings and structural analysis, Collocator will coordinate with VZW for a preliminary pre-construction meeting at the site.

Construction Process and Standards

Construction Process:

Preliminary Approval:

1. A preliminary site meeting will be performed with VZW and Collocator to identify location of Collocator's equipment on the tower and in the compound.
2. Collocator will supply VZW with architectural & engineering plans for review and approval to include: Lease Exhibits and two sets of stamped 11"x17" plans to VZW. One signed set of drawings with comments and changes will be returned to Collocator.

Pre-Construction Meeting:

1. Upon execution of a lease document, a pre-construction site walk will be performed with VZW and collocator.
2. The Collocator shall supply VZW with the names of contractors and subcontractors hired to do Collocators work. All contractors/subcontractors are subject to VZW review and approval. VZW reserves the right to reject any contractors it deems unqualified for any reason.
3. Collocator will supply VZW a copy of the stamped approval drawings and approved Building Permit card.
4. The Collocator will supply VZW a detailed "Construction Schedule" outlining the activity and duration of each activity. Schedule must also include a reasonable start date and date of completion.
5. The VZW Manager of Project Implementation will issue a Notice to Proceed (NTP) upon receipt and satisfactory review of all the above information and a satisfactory certificate of insurance (see below for specific requirements).

Collocator/Contractor Insurance Requirements:

1. Before commencement of any work at a VZW site, the Collocator must supply VZW with an acceptable certificate of insurance naming VZW as an additional insured with the following coverage levels:

Commercial General Liability Insurance (including, but not limited to, premises-operations, explosion and collapse, underground hazard, broad form property damage, products/completed operations, contractual liability, independent contractors, personal injury) with limits of at least \$2,000,000 combined single limit for each occurrence. (Limits may be satisfied with primary and/or excess coverage.)

Commercial Automobile Liability with limits of at least \$2,000,000 combined single limit for each occurrence.

Workers' Compensation insurance as required by Statute, and Employer's Liability insurance with limits of not less than \$1,000,000 per occurrence.

Professional Liability (Errors and Omissions) with limits of not less than \$1,000,000 per occurrence

Construction:

1. VZW will issue the NTP for construction upon commencement of Lease, receipt of the certification of insurance in Collocator's/contractor's name listing VZW as an additional insured, receipt of all necessary government approvals and all appropriate VZW approvals.
2. Collocator must notify VZW a minimum of 24 hours prior to start of construction.
3. During construction, Collocator will immediately notify VZW of any proposed deviation from the approved construction drawings. If there is deviation, Collocator will not proceed with the change until it has been reviewed and approved by the appropriate VZW personnel.

Post-Construction:

1. A post construction inspection will be performed by a VZW manager at the time the Collocator informs VZW that construction is complete at the site. A "Punch List" will be developed and the Collocator will be required to correct discrepancies immediately.
2. Collocator will provide an "As Built" (no red-lines) drawing of the site to VZW upon completion of work.
3. Collocator will provide copies of all final inspections, reports, and other construction documents related to the site.

General Construction Standards:

General Statement:

Verizon Wireless (VZW) has certain "Construction Standards" that it maintains in the construction of wireless communications sites. VZW requires that these minimum standards be maintained at the site to include construction and equipment installed for all collocations at the site.

Materials:

1. All materials to be used at the site shall be "New and of Commercial Quality".
2. Procedures used at the site shall conform to "Industry Standards" for each type of work being performed.
3. All materials used for antenna mounts and antenna cable routing will be "Hot Dipped Galvanized" materials.

Concrete:

1. Concrete shall develop a minimum compressive strength of 3000 PSI at the 28-day break.

Chain Link Fence:

1. If fence work is required the collocator is required to match the existing fence material and construction.

Back Filling:

1. Backfill of foundation, trenches, and other excavated areas shall be engineered materials and compacted to 95% relative density in lifts not exceeding 8" at a moisture content of 2% above optimum.
2. Gravel shall match existing gravel. If no gravel is present on site the material shall conform to Class 2 Aggregate Base.

3. Filter Fabric is to be placed prior to placement of any finished stone for roads, walkways, or site compound area.

Contractor Testing:

The collocator shall supply VZW with the following test reports:

1. Soils tests for foundation bearing capacity.
2. Concrete Cylinder and Placement Reports
3. Rebar Certification
4. Welding and Pole/Tower Modifications Shop Drawings and Field Inspections/Reports.
5. Bolted & Mechanical Connections
6. Ground test results

Utility Extensions:

1. Trenching route and conduit details for power application.
2. Trenching route and conduit details for telco connection.

Safety:

1. Collocator and their contractors shall meet all applicable OSHA regulations

Antenna/Antenna Cable:

1. The antennas and antenna mounting hardware shall be installed per manufacturer recommended standards of practice.
2. The coax cable shall be installed per manufacturer recommended standards of practice.
3. Collocator must provide easy identification and uniform markings of antenna cable per the following instructions: Markings shall be made of Metal Tags affixed at three places on the coax cable run as follows:
 - On the coax nearest to the antenna.
 - At the base of the tower
 - Outside the collocators equipment location
4. Tags shall clearly state the wireless carriers name.

Grounding:

1. Whichever "Grounding Scheme" the Collocator employs the work will be done in a neat and professional manner. At no time will the "Collocators Grounding Scheme" jeopardize the integrity of the VZW Grounding system.
2. The Collocator shall install a ring ground around it's own equipment and tie into the existing ground ring at two locations. If such standard conflicts with the Collocator's grounding standards, alternatives should be proposed for VZW review and approval.

Architectural & Engineering Drawing Requirements:

Title Page:

1. Applicants name & address.
2. VZW Site Name and Code
3. Revision Block showing latest revisions
4. Vicinity Map, Site Address
5. Project information
6. Zoning Information
7. Approval Block

Site Plan:

1. Title block with Architect/engineering information
2. Applicants name & address.
3. VZW Site Name and Code
4. Revision Block showing latest revisions
8. Approval Block
5. Scaled site plan showing leased area, property boundary, site equipment (existing and new) and North Arrow.

Equipment Plan:

1. Enlarged site plan of equipment area (10 Scale)
2. Equipment details including existing equipment, dimensioned of new equipment to be installed, electrical & Telco routing, wave guide routes, and any other information concerning the compound area.
3. Equipment Pad Details

Equipment Elevation Plan:

1. Equipment elevations, Wave guide Bridge elevations (min. 7'-6" AFG)

Tower/Antenna Plans & Elevations:

1. Number and specifications of antenna to be installed.
2. Elevation view of antenna location on tower
3. Antenna mount details and specifications (identify antenna mount manufacture)
4. Number and size of coax cable to be installed.
5. Elevation view of coax route on tower (lattice tower= wave guide ladder, Monopole=inside/outside of tower body).
6. Tower elevation drawing showing existing and proposed antenna locations & coax cable routes

Electrical Plans:

1. Electrical Service routing from "Point of Connection to Point of Termination".
2. Electrical service "Riser Sketch".
3. Telco Routing from "Point of Connection to Point of Termination".
4. Grounding drawings.

Structural Standards:

1. A structural analysis will be required for all co-location on a VZW tower. A letter from the engineer of record will be required stating the adequacy of the tower steel and foundation to support the existing and proposed loads using the specific County and EIA/TIA loading requirements for that specific region. The Basic Wind Speeds and Ice Loading will be stated in the report.
2. Structural analysis is to be completed by the original tower/monopole manufacture.
3. The analysis will include all present and future antenna loading including microwave dishes, antenna platforms, antenna mounts, antenna coax cables and wave-guide ladders, and any ancillary equipment.
4. If modifications are required to the tower specific "Modification Sketches" showing the changes to the tower structure will be required along with a write of changes.



Verizon Wireless
1831 Rady Court
Richmond, Virginia 23222

April 14, 2014

Montgomery County Planning Department
Attn: Karen Drake, Planning Director
755 Roanoke St., Ste. 2A
Christiansburg, VA 24073-3177

RE: Verizon Wireless Proposed Tower – Removal of tower upon abandonment
Site Name: Peterson Drive (5480 Peterson Drive - Parcel ID: 71097)

Dear Ms. Drake:

In accordance with the Montgomery County Zoning Ordinance, *Sec. 10-48.1(e), Additional regulations for special uses*, regarding prompt removal of the tower upon abandonment, Verizon Wireless agrees to the following:

At such time that any component of the wireless telecommunication facility ceases to be operated for a continuous period of twelve (12) months, it shall be considered abandoned and removed, by the owner of such equipment, within ninety (90) days of receipt of notice from the zoning administrator.

Sincerely,

A handwritten signature in black ink, appearing to read "Drew C. Patterson", written over a white background.

Drew C. Patterson, Zoning Manager
Consultant for Verizon Wireless
804-363-0891
dpatterson@nbcllc.com



Verizon Wireless
1831 Rady Court
Richmond, Virginia 23222

April 11, 2014

Montgomery County Planning Department
Attn: Karen Drake, Planning Director
755 Roanoke St., Ste. 2A
Christiansburg, VA 24073-3177

RE: Verizon Wireless Proposed Tower – FAA compliance report
Site Name: Peterson Drive (5480 Peterson Drive - Parcel ID: 71097)

Dear Ms. Drake:

The Montgomery County Zoning Ordinance, *Sec. 10-48.1(f), Additional regulations for special uses*, requires that “*All towers shall comply with all Federal Aviation Administration (FAA) requirements including those relating to the Virginia Tech Airport.*” Verizon Wireless has researched this requirement and determined that notice to the FAA is not required at the proposed location (see attached Federal Airways and Airspace Summary Report).

Sincerely,

A handwritten signature in black ink, appearing to read "Drew C. Patterson".

Drew C. Patterson, Zoning Manager
Consultant for Verizon Wireless
804-363-0891
dpatterson@nbcllc.com

* Federal Airways & Airspace *
* Summary Report: New Construction *
* Antenna Structure *

Airspace User: Tracy R. Cuffie

File: PETERSONDRIVE

Location: Radford, VA
Distance: 2.3 Statute Miles
Direction: 11° (true bearing)

Latitude: 37°-05'-29.5" Longitude: 80°-34'-

01.3"

SITE ELEVATION AMSL.....2030 ft.
STRUCTURE HEIGHT..... 199 ft.
OVERALL HEIGHT AMSL.....2229 ft.

NOTICE CRITERIA

FAR 77.9(a): NNR (DNE 200 ft AGL)
FAR 77.9(b): NNR (DNE Notice Slope)
FAR 77.9(c): NNR (Not a Traverse Way)
FAR 77.9: NNR FAR 77.9 IFR Straight-In Notice Criteria for PSK
FAR 77.9: NNR FAR 77.9 IFR Straight-In Notice Criteria for BCB
FAR 77.9(d): NNR (Off Airport Construction)

NR = Notice Required

NNR = Notice Not Required

PNR = Possible Notice Required (depends upon actual IFR

procedure)

For new construction review Air Navigation Facilities at
bottom of this report.

Notice to the FAA is not required at the analyzed location and
height for slope, height or Straight-In procedures. Please review the 'Air
Navigation' section for notice requirements for offset IFR procedures and
EMI.

OBSTRUCTION STANDARDS

FAR 77.17(a)(1): DNE 499 ft AGL
FAR 77.17(a)(2): DNE - Airport Surface
FAR 77.19(a): DNE - Horizontal Surface
FAR 77.19(b): DNE - Conical Surface
FAR 77.19(c): DNE - Primary Surface
FAR 77.19(d): DNE - Approach Surface
FAR 77.19(e): DNE - Transitional Surface

VFR TRAFFIC PATTERN AIRSPACE FOR: PSK: NEW RIVER VALLEY

Type: A RD: 35334.61 RE: 2073.2

FAR 77.17(a)(1): DNE

FAR 77.17(a)(2): DNE - Greater Than 5.99 NM.

VFR Horizontal Surface: DNE

VFR Conical Surface: DNE

VFR Approach Slope: DNE
 VFR Transitional Slope: DNE

VFR TRAFFIC PATTERN AIRSPACE FOR: BCB: VIRGINIA TECH/MONTGOMERY EXE
 Type: A RD: 61441.42 RE: 2112.7

FAR 77.17(a)(1): DNE
 FAR 77.17(a)(2): DNE - Greater Than 5.99 NM.
 VFR Horizontal Surface: DNE
 VFR Conical Surface: DNE
 VFR Approach Slope: DNE
 VFR Transitional Slope: DNE

TERPS DEPARTURE PROCEDURE (FAA Order 8260.3, Volume 4)
 FAR 77.17(a)(3) Departure Surface Criteria (40:1)
 DNE Departure Surface

MINIMUM OBSTACLE CLEARANCE ALTITUDE (MOCA)
 FAR 77.17(a)(4) MOCA Altitude Enroute Criteria
 The Maximum Height Permitted is 3800 ft AMSL

PRIVATE LANDING FACILITIES

| ARP FAA | FACIL | BEARING | RANGE | DELTA |
|---------------|------------------------------------------------------------------------------------------|----------|-------|-------|
| ELEVATION IFR | IDENT TYP NAME | To FACIL | IN NM | |
| ----- | ----- | ----- | ----- | ----- |
| | 68VA HEL CARILION NEW RIVER VALLEY ME | 94.09 | 2.93 | -901 |
| | No Impact to Private Landing Facility Structure 0 ft below heliport. | | | |
| IFR | VA22 HEL CARILION CLINIC | 95.71 | 2.94 | +102 |
| | No Impact to Private Landing Facility Structure is beyond notice limit by 12864 feet. | | | |
| | VG59 HEL CEDAR POINT LANDING | 251.48 | 4.17 | +364 |
| | No Impact to Private Landing Facility Structure is beyond notice limit by 20337 feet. | | | |

AIR NAVIGATION ELECTRONIC FACILITIES

| GRND | FAC | ST | DIST | DELTA | | | | | | |
|---------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------|-------|-------|--------|--------|-------|-------|---------|----------|
| ANGLE | APCH | IDNT | TYPE | AT | FREQ | VECTOR | (ft) | ELEVA | ST | LOCATION |
| BEAR | ----- | ----- | ----- | ----- | ----- | ----- | ----- | ----- | ----- | ----- |
| .15 | PSK | VORTAC | R | 116.8 | 268.08 | 42570 | +109 | VA | PULASKI | |
| .09 | TEC | NDB | I | 36 | 48.16 | 63956 | +104 | VA | TECH | |
| Predict | Alert! IFR Notice is not Required for this structure. Predict within Final Segment of Approach plus Fix Error Area. within FAR 77.9 IFR Notice Requirement Area for BCB: NDB-A The maximum IFR No Notice Height for new construction is: 2800' AMSL. | | | | | | | | | |

FCX RADAR WXL Y 5250. 106.05 88870 -736 VA ROANOKE-
 BLACKSBUR -.47

| | | | | | | | | | |
|-----------|-----|--------|---|-------|--------|--------|-------|----|-----------|
| -.28 | ROA | VORTAC | I | 109.4 | 57.47 | 171257 | -843 | VA | ROANOKE |
| | ROA | RADAR | Y | 2720. | 63.1 | 190630 | +990 | VA | ROANOKE |
| REGIONAL/ | | .30 | | | | | | | |
| .32 | ODR | VOR | R | 114.9 | 63.5 | 191072 | +1065 | VA | WOODRUM |
| -.19 | BLF | VORTAC | I | 110.0 | 293.37 | 198743 | -671 | WV | BLUEFIELD |

FCC AM PROOF-OF-PERFORMANCE

NOT REQUIRED: Structure is not near a FCC licensed AM radio station Proof-of-Performance is not required. Please review AM Station Report for details.

Nearest AM Station: WRAD @ 5775 meters.

Airspace® Summary Version 14.3.352

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04-07-2014

10:35:43



PETERSON DRIVE

5480 PETERSON DRIVE

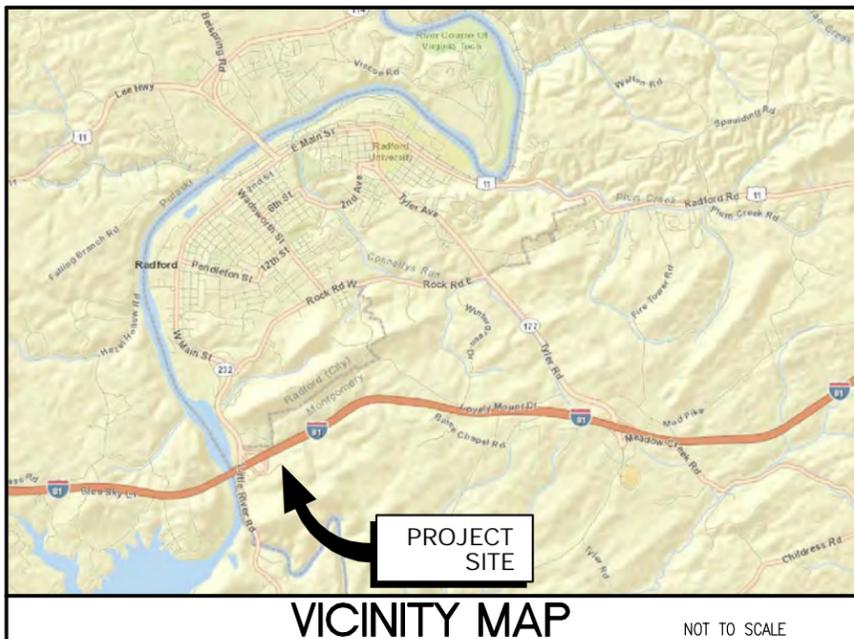
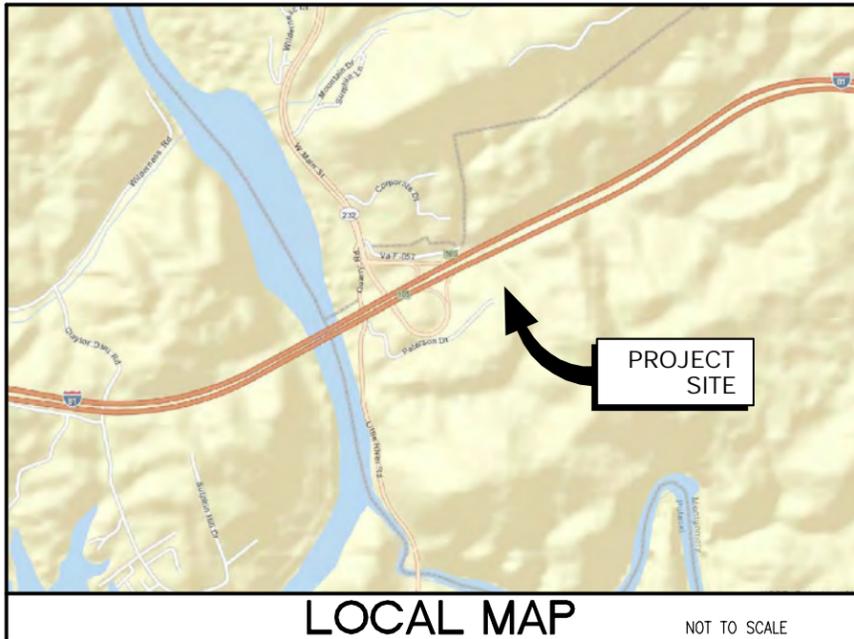
RADFORD, VA 24141

PROJECT DESCRIPTION

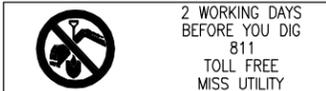
INSTALLATION AND OPERATION ANTENNAS AND ASSOCIATED EQUIPMENT IN A RAWLAND AREA

DIRECTIONS TO SITE:

FROM RICHMOND:
 TAKE I-64W TOWARDS I 95N/CHARLOTTESVILLE/WASHINGTON AND MERGE ONTO I 95N. SLIGHT RIGHT ONTO I 64W.
 KEEP LEFT AT THE FORK AND FOLLOW SIGNS FOR I 64W/I 81/LEXINGTON/ROANOKE AND MERGE ONTO I 81S. TAKE
 EXIT 105 FOR VA-232 TOWARD VA-605/RADFORD. TURN RIGHT ONTO VA-232N/W MAIN ST. TAKE THE FIRST LEFT
 ONTO STATE ROUTE 605/LITTLE RIVER ROAD. TAKE THE FIRST LEFT ONTO PETERSON DRIVE.



NOTE:
 100' X 100' LEASE AREA AND 20' WIDE ACCESS/UTILITY EASEMENT SHALL BE LOCATED WITHIN EXECUTED MEMORANDUM OF LAND LEASE AGREEMENT UNDER INSTRUMENT NUMBER 08007611, DATED JULY 6, 2008 RECORDED IN THE CLERK'S OFFICE OF MONTGOMERY COUNTY VIRGINIA ON JULY 16, 2008.



EMERGENCY INFORMATION:
 LOCAL FIRE AND EMERGENCY SERVICES
 (540) 731-3617
 LOCAL EMERGENCY POLICE DISPATCH
 (540) 731-3624

| APPROVAL | | | |
|---------------------------|------------------|--------------|----------------|
| REAL ESTATE: | SEAN BAMMAN | PHONE NUMBER | (804) 360-8383 |
| ZONING: | DREW PATTERSON | PHONE NUMBER | (804) 363-0891 |
| CONSTRUCTION: | DICKIE TURNER | PHONE NUMBER | (540) 661-6002 |
| ENVIRONMENTAL CONSULTANT: | ANDREW HENDRICKS | PHONE NUMBER | (703) 478-0055 |

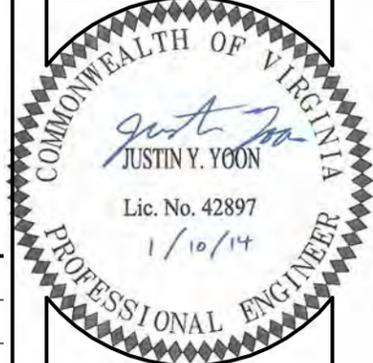
| REV. NO. | DESCRIPTION | BY | DATE | REV. NO. | DESCRIPTION | BY | DATE |
|----------|-------------------------------------|-----|----------|----------|-------------------------------------|-----|--------|
| 1 | ENSITE PLAN | CCY | 08/22/13 | 5 | REVISED FINAL CONSTRUCTION DRAWINGS | JYY | 1/1/14 |
| 2 | PRELIMINARY CONSTRUCTION DRAWINGS | JYY | 10/07/13 | | | | |
| 3 | FINAL CONSTRUCTION DRAWINGS | JYY | 11/01/13 | | | | |
| 4 | REVISED FINAL CONSTRUCTION DRAWINGS | JYY | 12/03/13 | | | | |

| CONSULTING TEAM | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------|
| ARCHITECTURE AND ENGINEERING: CLARK NEXSEN 1331 L STREET NW, SUITE 600 WASHINGTON, DC 20005 PROJECT MANAGER: TELEPHONE: FAX NUMBER: | STUART PATTERSON, PE (202) 461-3287 (202) 461-3266 |
| SURVEY: HAYDEN FRYE AND ASSOCIATES, INC 333 KELLAM ROAD, SUITE 200 VIRGINIA BEACH, VA 23462-2746 CONTACT: TELEPHONE: | HAYDEN FRYE, L.S. (757) 491-7228 |
| SOIL ENGINEER: NONE | |
| STRUCTURAL ENGINEERING: CLARK NEXSEN 6160 KEMPSVILLE CIRCLE SUITE 200A NORFOLK, VA 23502 CONTACT: TELEPHONE: FAX NUMBER: | SHANE FOWLER, PE (757) 455-5800 (757) 455-5638 |
| ELECTRICAL ENGINEERING: CLARK NEXSEN 6160 KEMPSVILLE CIRCLE SUITE 200A NORFOLK, VA 23502 CONTACT: TELEPHONE: FAX NUMBER: | SCOTT L CHRISTOPHER, PE (757) 455-5800 (757) 455-5638 |

| PROJECT SUMMARY | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| PROPERTY OWNER: RADFORD, CITY OF C/O SPIERS & SPIERS ATTY PETERSON DRIVE RADFORD, VA 24141 | CUP INFORMATION: CUP AREA: 0.23 ACRES ACCESS ROAD: 0.80 ACRES |
| APPLICANT INFORMATION: VERIZON WIRELESS 1831 RADY COURT RICHMOND, VA 23222 CONTACT: TELEPHONE: FAX NUMBER: | JOHN MILLER (804) 214-1887 (804) 321-0398 |
| PROJECT DATA: ZONING PARCEL ID TAX MAP# ACREAGE CURRENT USE PROPOSED USE JURISDICTION SITE TYPE TOWER TYPE TOWER HEIGHT OVERALL HEIGHT LEASE AREA AREA OF LAND DISTURBANCE | A1 071097 102-A 16, 17 100 AC AGRICULTURAL USE TELECOMMUNICATIONS MONTGOMERY COUNTY RAWLAND MONOPOLE 195' 199' 100' X 100' 20,000 SF |
| GEOGRAPHIC (2C) COORDINATES: LATITUDE: LONGITUDE: GROUND ELEVATION: | 37° 05' 29.5" N (NAD 83) 080° 34' 01.3" W (NAD 83) 2030.6' (NAVD 88) |
| ADA COMPLIANCE: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. SITE WILL NOT BE SERVED BY CITY SEWER OR WATER. | |

| INDEX OF DRAWINGS | |
|--------------------|-----------------------------|
| Sheet Number | Sheet Title |
| GENERAL | |
| G-1 | COVER SHEET |
| CIVIL | |
| C-1 | SITE PLAN |
| C-2 | ENLARGED SITE PLAN |
| C-3 | ELEVATION VIEW |
| C-4 | GRADING PLAN |
| C-5 | SITE DETAILS |
| C-6 | SITE DETAILS |
| ARCHITECTURAL | |
| A-1 | SHELTER ELEVATIONS |
| STRUCTURAL | |
| S-1 | GENERAL NOTES |
| S-2 | FOUNDATION PLAN AND DETAILS |
| S-3 | ICE BRIDGE DETAILS |
| ELECTRICAL | |
| E-1 | ELECTRICAL SITE PLAN |
| E-2 | GROUNDING PLAN |
| E-2 | GROUNDING DETAILS |
| SHEET TOTAL: 14 | |

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 WASHINGTON, DC 20005
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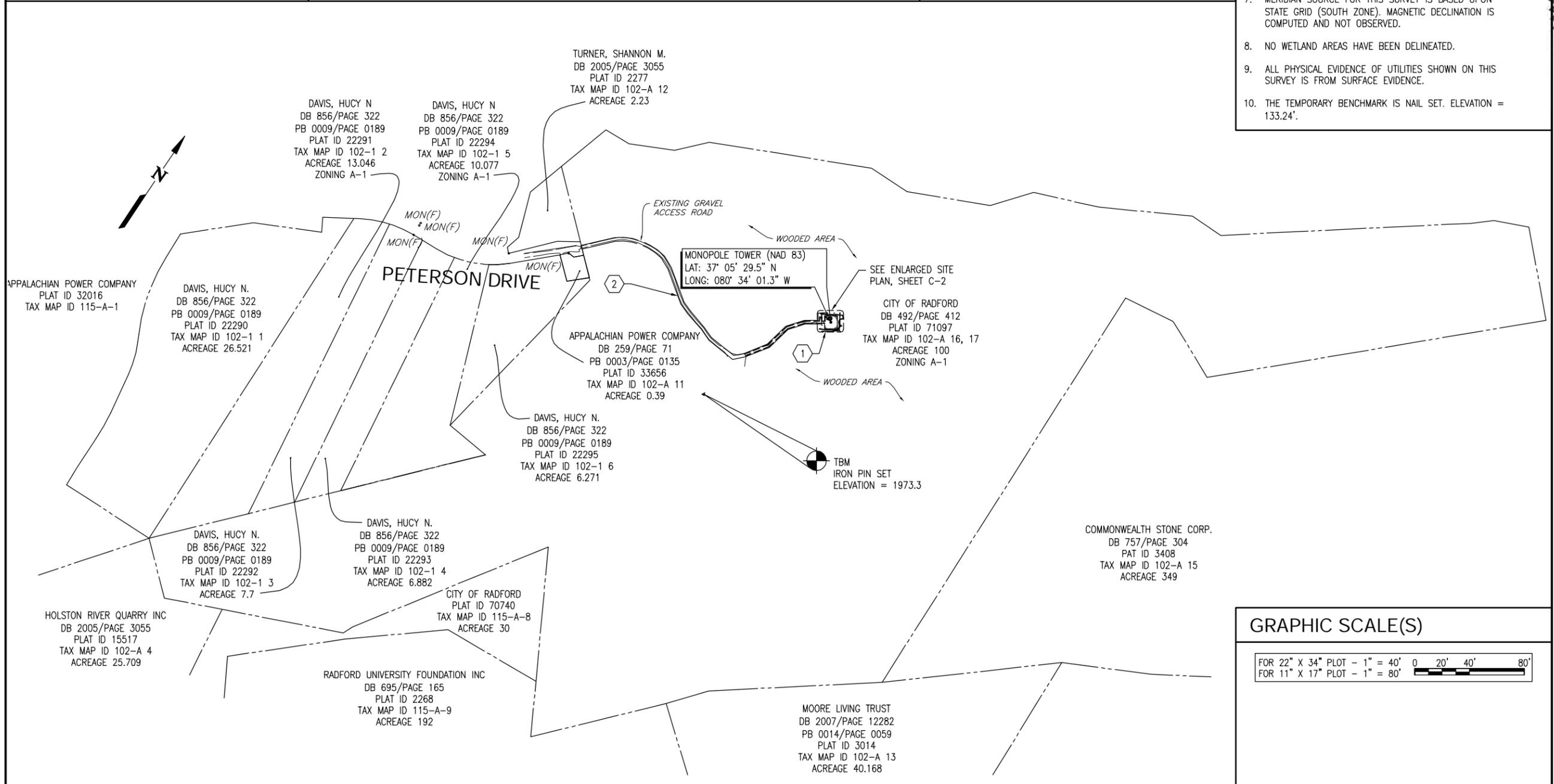
MONTGOMERY COUNTY
 DESIGN: CCY
 DRAWN: KAW
 REVIEW: JYY
 TTV DATE: N/A
 COMM. NO. 3036.115

| SUBMITTALS | | |
|------------|---------------------------------|----------|
| SYM. | DESCRIPTION | DATE |
| 1 | ENSITE PLAN | 08/22/13 |
| 2 | PRELIM CONST DWGS | 10/07/13 |
| 3 | FINAL CONSTRUCTION DWGS | 11/01/13 |
| 4 | REVISED FINAL CONSTRUCTION DWGS | 12/03/13 |
| 5 | REVISED FINAL CONSTRUCTION DWGS | 1/10/14 |

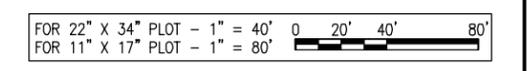
SHEET NAME:
 COVER SHEET
SHEET NO.:
 G-1

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| LEGEND | | ABBREVIATIONS | | | | # LEASE NOTES | | SURVEYOR'S NOTES | |
|--------|--|---------------|--------------------------------------------------------|-------|-----------------------------------------------|---------------|---------------------------------------|------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| | | Ø, DIA | DIAMETER | GPIN | GRID PARCEL IDENTIFICATION | P.B. | PLAT BOOK | 1. | TOPOGRAPHIC INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY HAYDEN FRYE AND ASSOCIATES, VIRGINIA BEACH, VIRGINIA ON 08/06/07. METES AND BOUNDS WERE COMPILED FROM PLATS AND/OR DEEDS OF RECORD. NO BOUNDARY SURVEY WAS PERFORMED BY HAYDEN FRYE AND ASSOCIATES. |
| | | # | NUMBER | ID | IDENTIFICATION | PE | PROFESSIONAL ENGINEER | 2. | THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH/REPORT AND MAY NOT SHOW ANY/ALL EASEMENTS AND RESTRICTIONS OF RECORD THAT MAY EFFECT THE SUBJECT PROPERTY. |
| | | A/C | AIR CONDITIONING | GPS | GLOBAL POSITIONING SYSTEM | P/P.G. | PAGE | 3. | PROPERTY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. |
| | | ADA | AMERICANS WITH DISABILITIES ACT | INC | INCORPORATED | P/L | PROPERTY LINE | 4. | FLOOD ZONE DETERMINATION IS BASED ON THE FLOOD INSURANCE RATE MAPS AND DOES NOT IMPLY THAT THE PROPERTY WILL OR WILL NOT BE FREE FROM FLOODING OR DAMAGE. |
| | | AFG | ABOVE FINISHED GRADE | INV | INVERT | PROJ. | PROJECT | 5. | THIS SITE APPEARS TO BE LOCATED IN THE F.I.R.M. ZONE "X" AS SHOWN ON COMMUNITY PANEL NUMBER 510129 0010C EFFECTIVE DATE 07/20/1998. |
| | | AGL | ABOVE GROUND LEVEL | INFO | INFORMATION | R/W | RIGHT OF WAY | 6. | NO SUBSURFACE INVESTIGATION WAS PERFORMED BY HAYDEN FRYE AND ASSOCIATES. |
| | | ASTM | AMERICAN SOCIETY FOR TESTING AND MATERIALS | L/P | LIGHT POLE/LAMP POST | RD | ROAD | 7. | MERIDIAN SOURCE FOR THIS SURVEY IS BASED UPON STATE GRID (SOUTH ZONE). MAGNETIC DECLINATION IS COMPUTED AND NOT OBSERVED. |
| | | AVE | AVENUE | LLC | LIMITED LIABILITY CORPORATION | SCH | SCHEDULE | 8. | NO WETLAND AREAS HAVE BEEN DELINEATED. |
| | | C, C/L | CENTERLINE | LS | LAND SURVEYOR | SF | SQUARE FOOT/FEET | 9. | ALL PHYSICAL EVIDENCE OF UTILITIES SHOWN ON THIS SURVEY IS FROM SURFACE EVIDENCE. |
| | | C.L.D. | CENTERLINE DITCH | LTE | LONG TERM EVOLUTION | ST | STREET | 10. | THE TEMPORARY BENCHMARK IS NAIL SET. ELEVATION = 133.24'. |
| | | CMP | CORRUGATED METAL PIPE | MAX | MAXIMUM | STD | STANDARD | | |
| | | CONC | CONCRETE | MHZ | MEGAHERTZ | TBM | TEMPORARY BENCHMARK | | |
| | | D.B. | DEED BOOK | MIN | MINIMUM | T-PED | TELEPHONE PEDESTAL | | |
| | | DWG(S) | DRAWINGS | MI | MILE | TTV | TECHNICAL TEAM VISIT | | |
| | | ELEV | ELEVATION | N | NORTH | TYP | TYPICAL | | |
| | | ENODE B | RF CABINET | NW | NORTHWEST | VA | VIRGINIA | | |
| | | EOE | EXISTING OVERHEAD ELECTRIC | NAD | NORTH AMERICAN DATUM | VDOT | VIRGINIA DEPARTMENT OF TRANSPORTATION | | |
| | | EZBFO | BATTERY BACKUP CABINET | NAV D | NORTH AMERICAN VERTICAL DATUM | W | WEST | | |
| | | (F) | FOUND | NO | NUMBER | WB | WILL BOOK | | |
| | | FFE | FINISHED FLOOR ELEVATION | OSHA | OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION | YDS | YARDS | | |
| | | GIS | FLOOD INSURANCE RATE MAP GEOGRAPHIC INFORMATION SYSTEM | P/P | POWER POLE | | | | |



GRAPHIC SCALE(S)



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1831 RADY COURT
RICHMOND, VA 23222

COMMONWEALTH OF VIRGINIA
JUSTIN Y. YOON
Lic. No. 42897
1/10/14
PROFESSIONAL ENGINEER

SITE INFO:
PETERSON DRIVE
RAWLAND
5480 PETERSON DRIVE
RADFORD, VA 24141

MONTGOMERY COUNTY

| | |
|-----------|----------|
| DESIGN: | JYY |
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| TTV DATE: | N/A |
| COMM. NO. | 3036.115 |

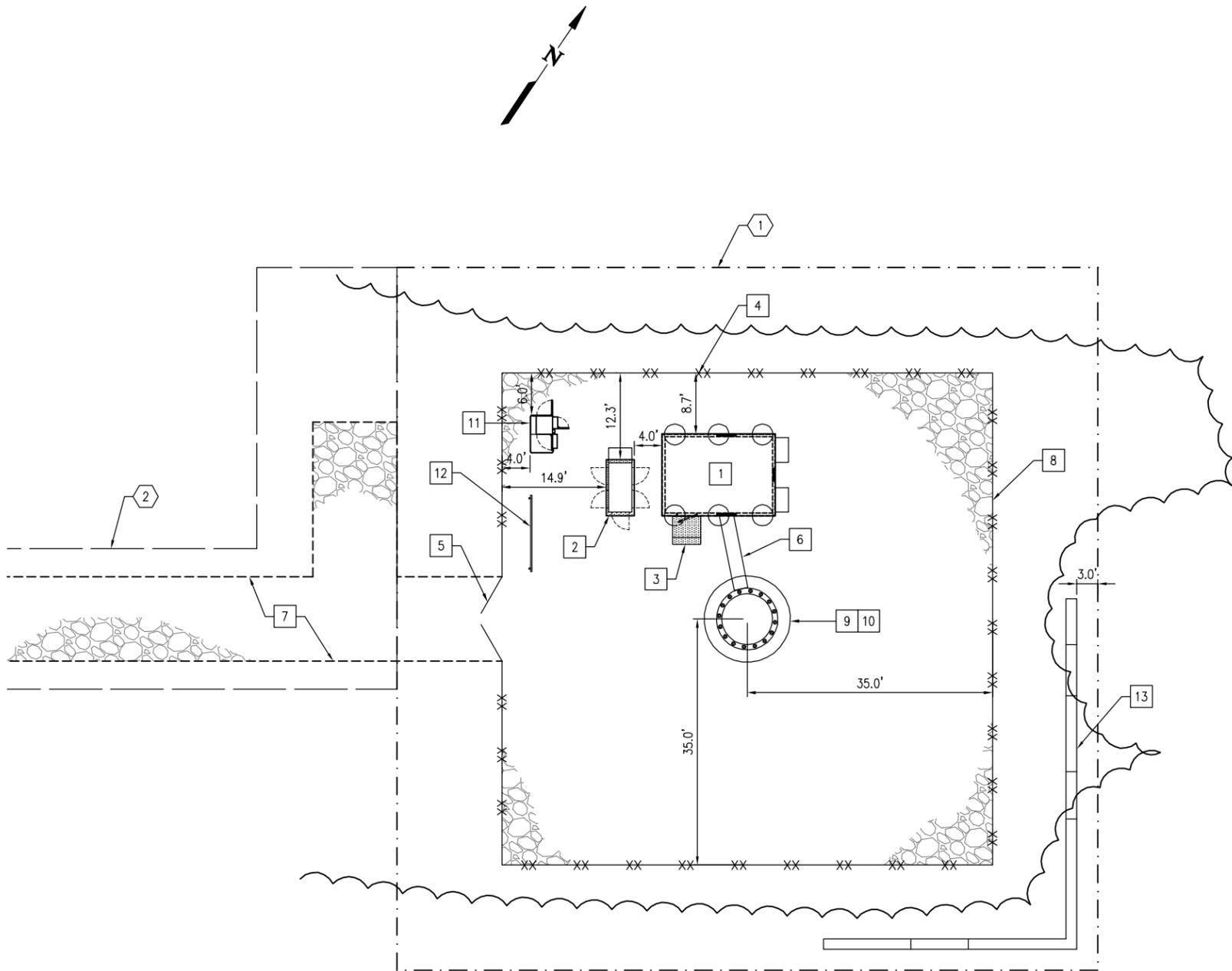
SUBMITTALS

| SYM. | DESCRIPTION | DATE |
|------|---------------------------------|----------|
| △ | ENSITE PLAN | 08/22/13 |
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SHEET NAME:
SITE PLAN

SHEET NO.:
C-1

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NOTES

1. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL ASSUME THE RESPONSIBILITY OF LOCATING ANY UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST AND CROSS THROUGH THE AREA OF CONSTRUCTION THAT ARE NOT SHOWN ON THESE PLANS. BEFORE YOU DIG, CALL "MISS UTILITY" AT 811. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
2. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED BY CONTRACTOR IN ACCORDANCE WITH THE LATEST EDITION OF VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK BEFORE LAND DISTURBANCE COMMENCEMENT AND CHECKED PERIODICALLY TO ENSURE THEY ARE FUNCTIONING AS INDICATED.
3. THE STOCKPILING OF EXCESS MATERIAL ON SITE WILL NOT BE ALLOWED.
4. ANY VEGETATED AREA DISTURBED BY CONSTRUCTION SHALL BE THE RESPONSIBILITY OF CONTRACTOR TO SEED AND ESTABLISH A PERMANENT VEGETATIVE COVER.
5. THE CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION. SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA REQUIREMENTS.
6. THE CONTRACTOR IS RESPONSIBLE FOR SITE LAYOUT AND CONSTRUCTION STAKING. LOCATION OF EXISTING STRUCTURES AND UTILITIES MUST BE CONFIRMED BY THE CONTRACTOR.
7. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL CODES OR ORDINANCES.
8. THE INDICATED DIRECTION OF NORTH WILL HAVE TO BE VERIFIED IN THE FIELD.

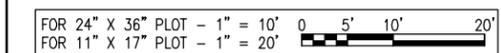
CONSTRUCTION NOTES

1. NEW VERIZON WIRELESS 12' X 16' EQUIPMENT SHELTER
2. NEW VERIZON WIRELESS DIESEL GENERATOR ON 4' X 8' CONCRETE PAD
3. NEW VERIZON WIRELESS CONCRETE STOOP
4. NEW VERIZON WIRELESS CONCRETE PIER (TYP)
5. NEW VERIZON WIRELESS 12' WIDE GATE
6. NEW VERIZON WIRELESS ICE BRIDGE
7. NEW VERIZON WIRELESS 12' WIDE ACCESS ROAD
8. NEW VERIZON WIRELESS 70' X 70' FENCED COMPOUND
9. NEW VERIZON WIRELESS MONOPOLE TOWER
10. NEW VERIZON WIRELESS ANTENNAS
11. NEW VERIZON LANDLINE MESA CABINET ON STRONGWELL
12. NEW H-FRAM
13. 18" SEGMENTED BLOCK RETAINING WALL

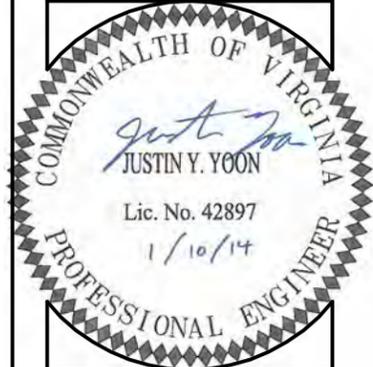
LEASE NOTES

1. VERIZON WIRELESS 100' X 100' LEASE AREA.
2. VERIZON WIRELESS 20' WIDE ACCESS/UTILITY EASEMENT.

GRAPHIC SCALE(S)



1831 RADY COURT
RICHMOND, VA 23222



SITE INFO:

PETERSON
DRIVE

RAWLAND

5480 PETERSON DRIVE
RADFORD, VA 24141

MONTGOMERY COUNTY

| | |
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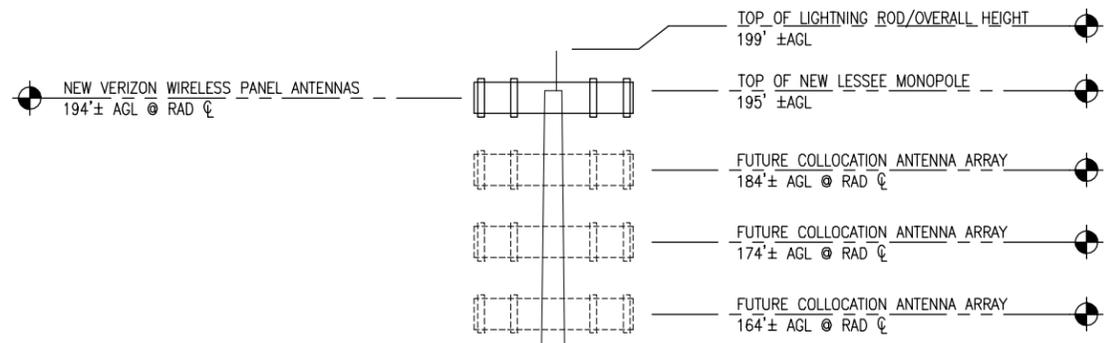
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SHEET NAME:

**ENLARGED SITE
PLAN**

SHEET NO.:

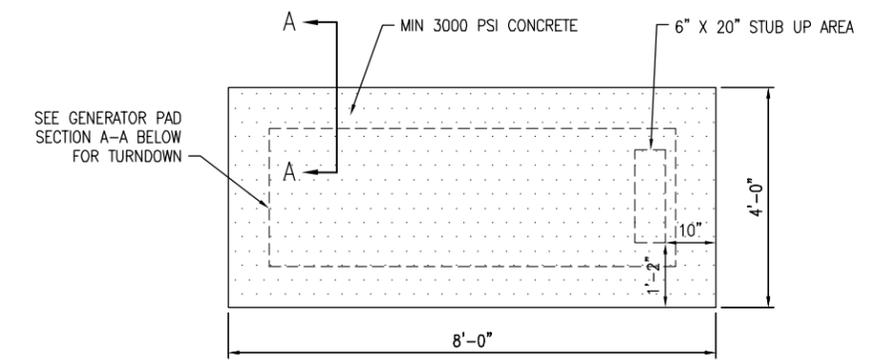
C-2



NEW VERIZON WIRELESS 195' MONOPOLE WITH GRAY GALVANIZED STEEL FINISH

NEW VERIZON WIRELESS EQUIPMENT SHELTER
 NEW VERIZON WIRELESS FENCED COMPOUND

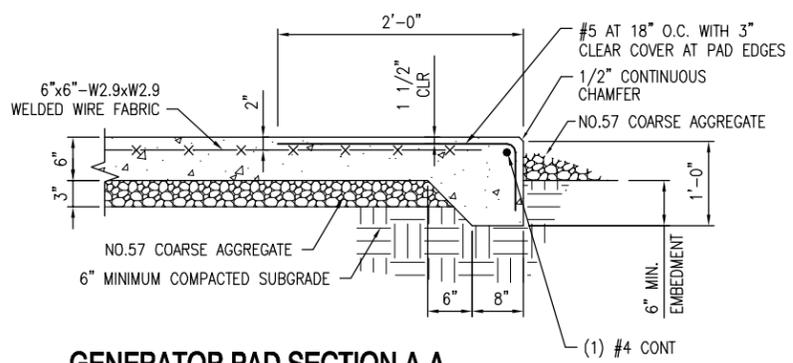
FINISHED GRADE



NOTE:
 CONTRACTOR TO COORDINATE CONDUIT STUB-UPS THROUGH THE STUB UP AREA TO ENSURE NO REINFORCING BARS ARE CUT. CONCRETE TO BE PLACED AROUND THE CONDUITS, AFTER CONDUIT STUB-UPS ARE INSTALLED WITHIN THE STUB UP AREA.

GENERATOR PAD DETAIL

NO SCALE

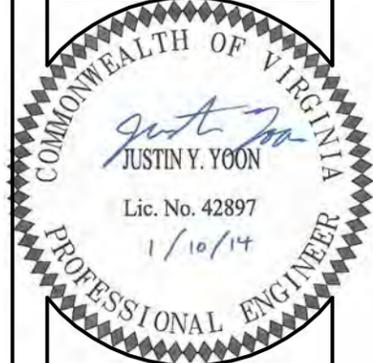


GENERATOR PAD SECTION A-A

NO SCALE



1831 RADY COURT
 RICHMOND, VA 23222



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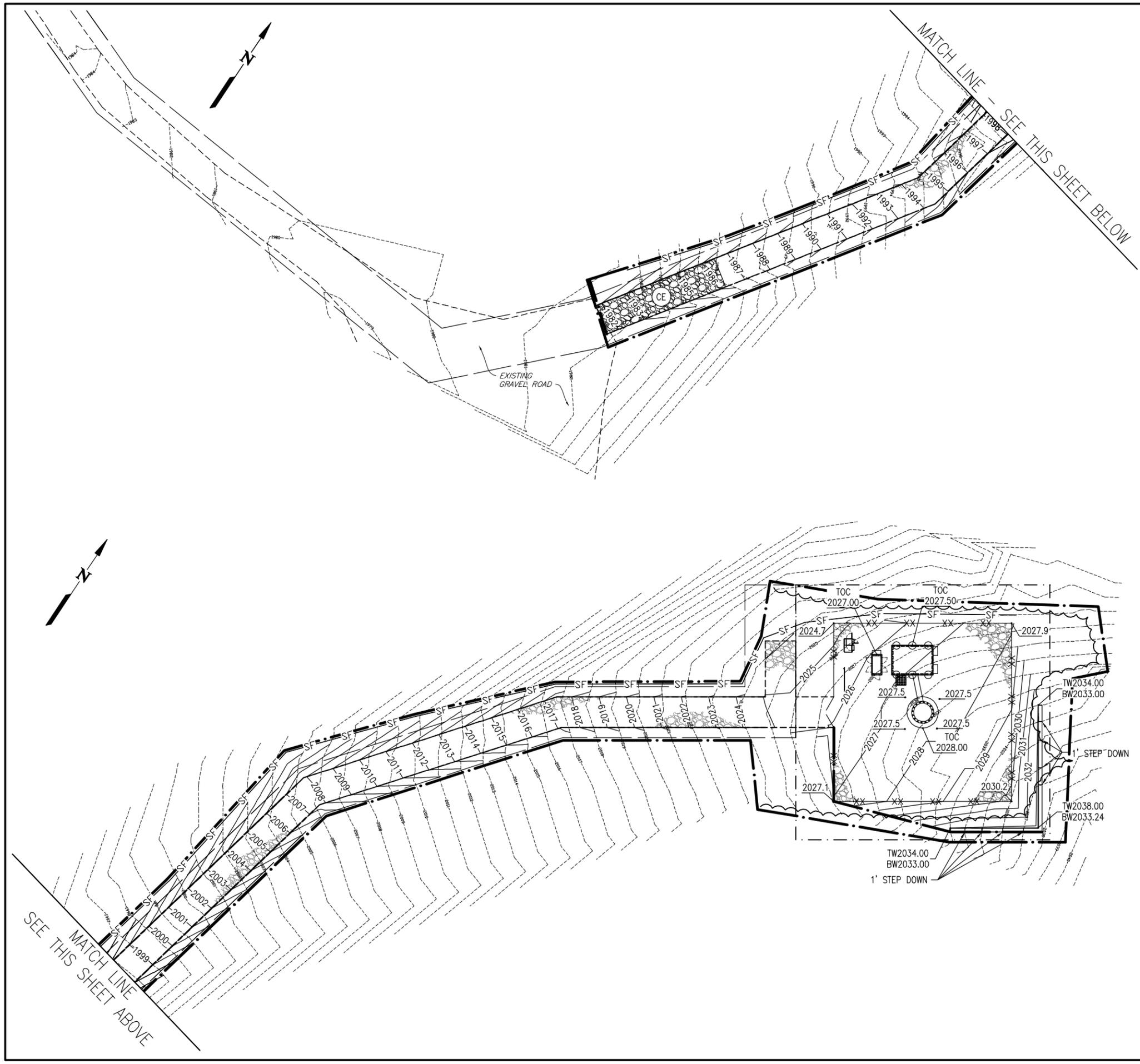
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| △ | REVISED FINAL CONSTRUCTION DWGS | 1/10/14 |
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SHEET NAME:

ELEVATION VIEW

SHEET NO.:

C-3



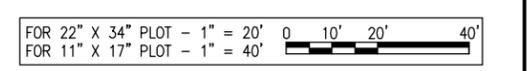
EROSION AND SEDIMENT CONTROL NOTES

- UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK (3RD EDITION, 1992).
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION.
- THE CONTRACTOR SHALL APPLY PERMANENT OR TEMPORARY SOIL STABILIZATION TO ALL DENUDED OR DISTURBED AREAS WITHIN 7 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION MUST ALSO BE APPLIED TO DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE BUT WHICH WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. SOIL STABILIZATION MEASURES INCLUDE VEGETATIVE ESTABLISHMENT, MULCHING AND THE EARLY APPLICATION OF GRAVEL BASE MATERIAL ON AREAS TO BE PAVED.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES PERIODICALLY AND AFTER EACH RUNOFF PRODUCING RAINFALL EVENT. ANY NECESSARY REPAIRS TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES AND CLEANUP OF SEDIMENTATION ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE MADE IMMEDIATELY.
- THE CONTRACTOR SHALL LIMIT SITE ACCESS BY CONSTRUCTION VEHICLES TO ENTRANCES PROTECTED BY A STONE CONSTRUCTION ENTRANCE (VESCH STD. & SPEC. 3.02) OR AN APPROVED COMPARABLE CONTROL MEASURE. SEDIMENT SHALL BE REMOVED FROM PAVED AREAS ON A DAILY BASIS.
- STOCK PILES OF SOIL AND OTHER ERODIBLE MATERIAL SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION FOR STOCKPILES ON SITE AS WELL AS FOR MATERIALS TRANSPORTED FROM THE PROJECT SITE.
- THE CONTRACTOR SHALL MONITOR AND TAKE PRECAUTIONS TO CONTROL DUST INCLUDING (BUT NOT LIMITED TO) USE OF WATER, MULCH OR CHEMICAL DUST ADHESIVES AND CONTROL OF CONSTRUCTION SITE TRAFFIC.
- EFFLUENT FROM DE-WATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND CHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT ADJACENT PROPERTIES, WETLANDS, WATERWAYS OR THE STORM DRAINAGE SYSTEM.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ANY ADDITIONAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED NECESSARY BY THE PLAN APPROVING AUTHORITY.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL ALL DISTURBED AREAS ARE STABILIZED. AFTER STABILIZATION IS COMPLETE, ALL MEASURES SHALL BE REMOVED WITHIN 30 DAYS. TRAPPED SEDIMENT SHALL BE SPREAD AND SEEDED.

E & S LEGEND

- SF — SILT FENCE
- - - LIMITS OF DISTURBANCE
- ⊙ CE CONSTRUCTION ENTRANCE

GRAPHIC SCALE(S)



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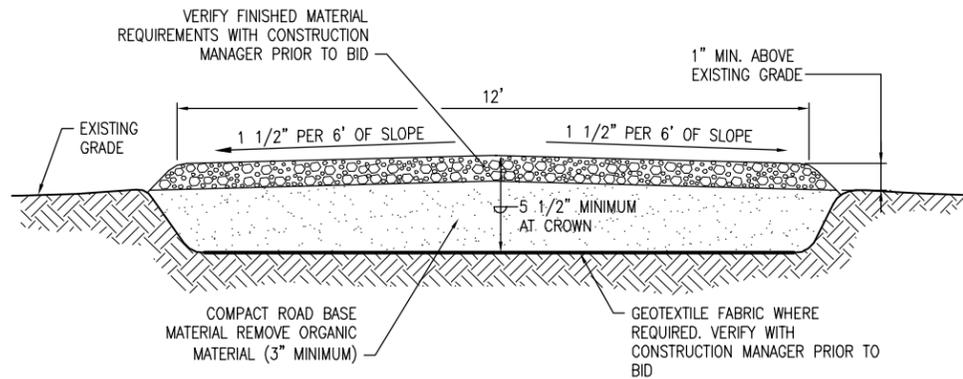
MONTGOMERY COUNTY

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| △ | REVISED FINAL CONSTRUCTION DWGS | 1/10/14 |
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SHEET NAME:
GRADING PLAN

SHEET NO.:
C-4

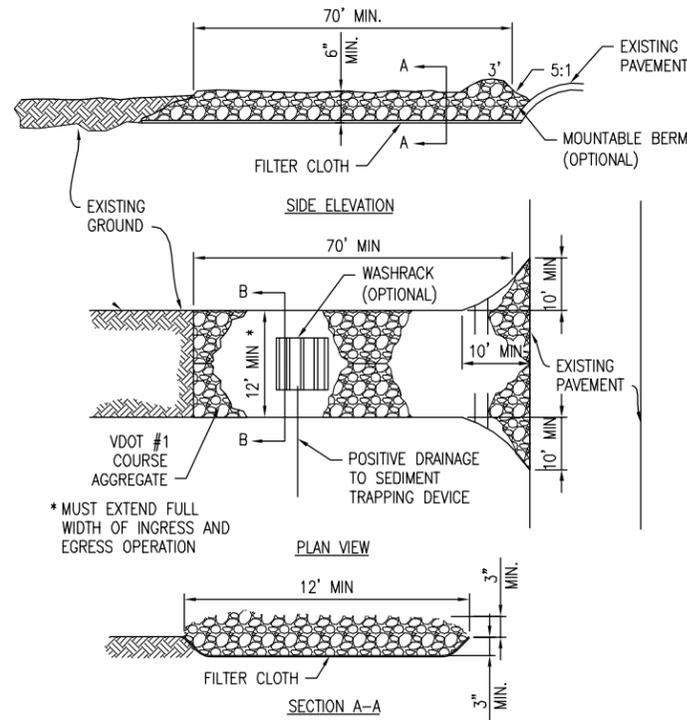


EARTH WORK SUBGRADE COMPACTION & SELECT GRANULAR FILL

- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING & GRUBBING THE CONSTRUCTION SITE AND ROADWAY AREAS. THE CONTRACTOR SHALL COMPLY WITH THE RECOMMENDATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT WHEN NECESSARY PREPARED FOR THIS SITE FOR SITE WORK PREPARATION & FOUNDATION WORK. AS A MINIMUM THE TOP 3" OF GRADE SHALL BE REMOVED. THE EXPOSED SUBGRADE COMPACTED, GEOTEXTILE FABRIC AS REQUIRED FOR UNSTABLE SOIL CONDITION.
- ALL SELECT GRANULAR FILL SHALL BE COMPACTED TO A 95% COMPACTION AT A MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557 OR WITHIN PLUS OR MINUS 3% OF OPTIMUM MOISTURE CONTENT.

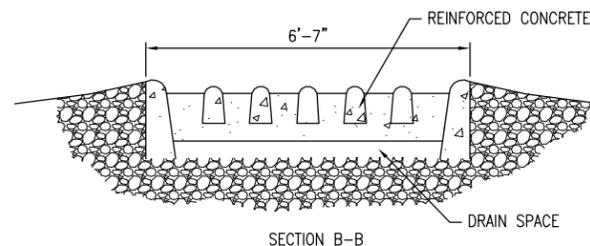
TYPICAL ACCESS ROAD CROSS SECTION

NO SCALE



TEMPORARY STONE CONSTRUCTION ENTRANCE

NO SCALE



COMPOUND GRAVEL SECTION

NO SCALE

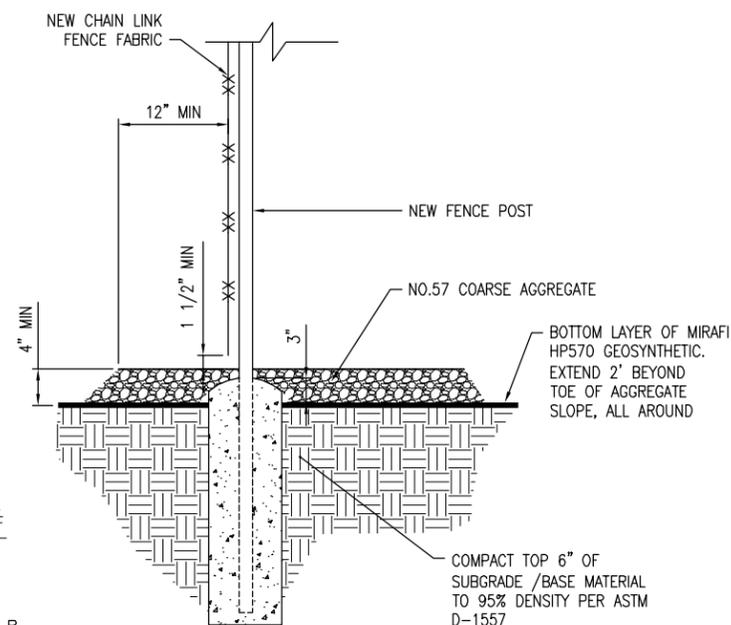


TABLE 3.31-B
(Revised June 2003)
TEMPORARY SEEDING SPECIFICATIONS
QUICK REFERENCE FOR ALL REGIONS

| SEED | | |
|-------------------|-------------------------------------------------------------------------------------------|-------------------|
| APPLICATION DATES | SPECIES | APPLICATION RATES |
| Sept. 1-Feb. 15 | 50/50 Mix of Annual Ryegrass (lolium multi-florum) & Cereal (Winter) Rye (Secale cereale) | 50-100 (lbs/acre) |
| Feb. 16-Apr. 30 | Annual Ryegrass (lolium multi-florum) | 60-100 (lbs/acre) |
| May. 1-Aug. 31 | German Millet | 50 (lbs/acre) |

FERTILIZER & LIME

- Apply 10-10-10 FERTILIZER at a rate 450 lbs./acre (or 10 lbs./1,000sq ft
 - Apply PULVERIZED AGRICULTURAL LIMESTONE at a rate of 2 tons/acre (or 90 lbs./1,000 sq ft)
- NOTE:**
- A soil test as necessary to determine the actual amount of lime required to adjust the soil pH of site.
 - Incorporate the lime and fertilizer into the top 4-6 inches of the soil by disking or by other means.
 - When applying Slowly Available Nitrogen, use rates available in Erosion & sediment Control Technical Bulletin #4, 2003 Nutrient Management for Development Sites at <http://www.dcr.state.va.us/sw/e&s.htm#pubs>

TABLE 3.32-E
(Revised June 2003)
PERMANENT SEEDING SPECIFICATIONS FOR PIEDMONT AREA

| SEED | | |
|---------------------------------------------------------|--------------------------------------|----------------------|
| LAND USE | SPECIES | APPLICATION PER ACRE |
| <u>Minimum Care Lawn</u> (Commercial or Residential) | Tall Fescue | 95-100% |
| | Perennial Ryegrass | 0-5% |
| | Kentucky Bluegrass | 0-5% |
| | | TOTAL: 175-200 lbs |
| <u>High-Maintenance Lawn</u> | Tall Fescue | TOTAL: 200-250 lbs |
| <u>General Slope (3:1 or less)</u> | Tall Fescue | 128 lbs |
| | Red Top Grass or Creeping Red Fescue | 2 lbs |
| | Sesional Nurse Crop | 20 lbs |
| | | |
| <u>LOW-Maintenance Slope (Steeper Than 3:1)</u> | Tall Fescue | 108 lbs |
| | Red Top Grass or Creeping Red Fescue | 2 lbs |
| | Sesional Nurse Crop | 20 lbs |
| | Crownvetch | 20 lbs |
| | | |

- When selecting varieties of turfgrass, use the Virginia Crop Improvement Association (VCIA) recommended turfgrass variety list. Quality seed will bear a label indicating that they are approved by VCIA. A current turfgrass variety list is available at the local County Extension office or through VCIA at 804-746-4884 or at <http://sudan.cses.vt.edu/html/Turf/turf/publications/publications2/html>
- Use seasonal nurs crop in accordance with seedind dates as ststed below:

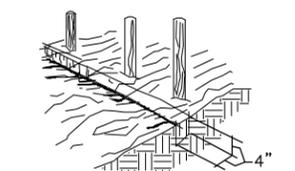
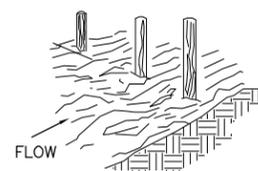
| | |
|-------------------------------|----------------|
| February 16th - April..... | Annual Rye |
| May 1st - August 15th..... | Foxtail Millet |
| August 16th - October..... | Annual Rye |
| November - February 15th..... | Winter Rye |
- Substitute Sericea Lespedeza for Crownvetch east of Farmville, VA (May through September use hulled seed, all other periods, use unhulled Sericea). If Flatpea is used, increase to 30 lbs/acre. If weeping lovegrass is used, including in any slope or low maintenance mixture during warmer seeding periods, increase to 30-40 lbs/acre.

FERTILIZER & LIME

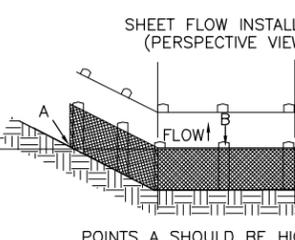
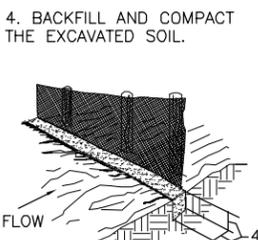
- Apply 10-20-10 fertilizer at a rate of 500 lbs./acre (or 12 lbs./1,000 sq. ft.)
 - Apply Pulverized Agricultural Limestone at a rate of 2 tons/acre (or 90 lbs./1,000 sq. ft.)
- NOTE:**
- A soil test is necessary to determine the actual amount of lime required to adjust the soil pH of the site.
 - Incorporate the lime and fertilizer into rhe top 4-6 inches of the soil by disking or by other means.
 - When applying Slowly Available Nitrogen, use rates available in Erosion & Sediment Control Technical Bulletin #4, 2003 Nutrient Management for Development Sites at <http://www.dcr.state.va.us/sw/e&s.html#pubs>

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

- SET THE STAKES.
- EXCAVATE A 4" X 4" TRENCH ALONG THE LINE OF STAKES.



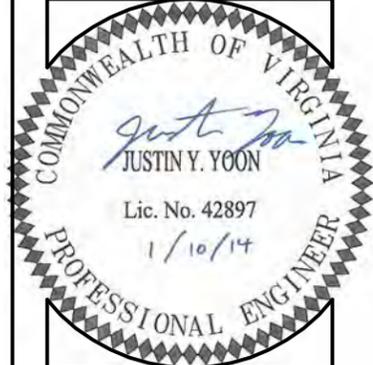
- STAPLE FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.
- BACKFILL AND COMPACT THE EXCAVATED SOIL.



POINTS A SHOULD BE HIGHER THAN POINT B
DRAINAGE WAY INSTALLATION (FRONT ELEVATION)

SILT FENCE

NO SCALE



SITE INFO:

PETERSON
DRIVE

RAWLAND

5480 PETERSON DRIVE
RADFORD, VA 24141

MONTGOMERY COUNTY

| | |
|-----------|----------|
| DESIGN: | JYY |
| DRAWN: | KAW |
| REVIEW: | JYY |
| TTV DATE: | N/A |
| COMM. NO. | 3036.115 |

| SUBMITTALS | | |
|------------|---------------------------------|----------|
| SYM. | DESCRIPTION | DATE |
| △ | ENSITE PLAN | 08/22/13 |
| △ | PRELIM CONST DWGS | 10/07/13 |
| △ | FINAL CONSTRUCTION DWGS | 11/01/13 |
| △ | REVISED FINAL CONSTRUCTION DWGS | 12/03/13 |
| △ | REVISED FINAL CONSTRUCTION DWGS | 1/10/14 |
| △ | | |
| △ | | |

SHEET NAME:

SITE DETAILS

SHEET NO.:

C-5

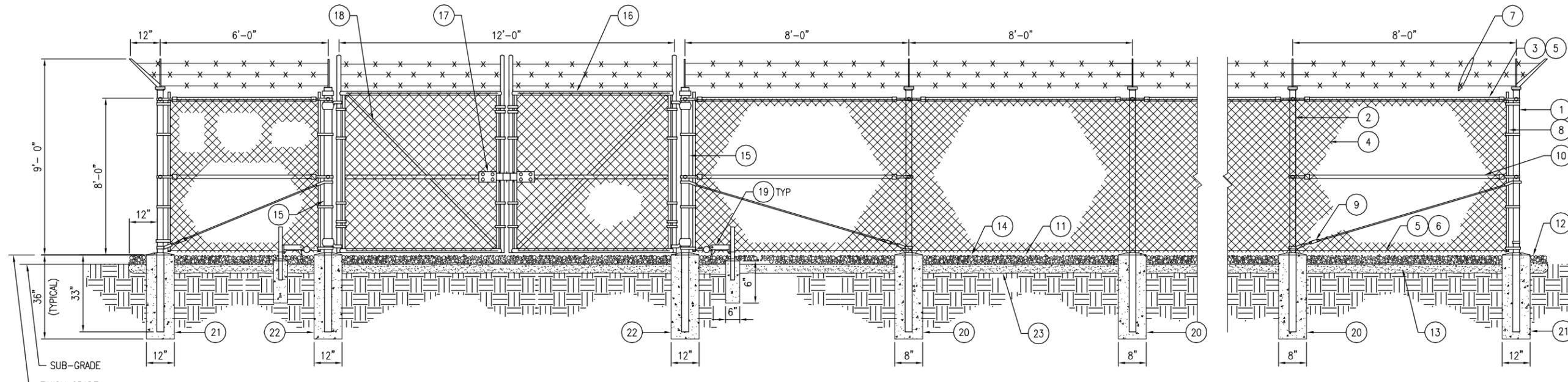
Spell checked by MAREDDONDO on 02/17/2011 5:32pm

CONSTRUCTION NOTES

- | | | | |
|-------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|
| 1. CORNER, END OR PULL POST 3" NOMINAL SCHEDULE 40 PIPE | 6. TENSION WIRE: 9 GA GALVANIZED STEEL | 12. 4" FINISH OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK. | 18. 1-1/2" PAIR INDUSTRIAL MALLEABLE IRON OFFSET PIN HINGE (PAGE-WILSON M-6 OR EQUAL) |
| 2. LINE POST: 2 1/2" SCHEDULE 40 PIPE, PER ASTM-F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 8'-0" OC | 7. BARBED WIRE: DOUBLE STRAND 12-1/2" OD TWISTED WIRE TO MATCH WITH FABRIC 14 GA, 4 POINT BARBS SPACED ON APPROXIMATELY 5" CENTERS. | 13. 6" COMPACTED 95% BASE MATERIAL OR AS DETERMINED BY CONSTRUCTION MANAGER DURING BID WALK | 19. GATE LATCH |
| 3. TOP RAIL & BRACE RAIL: 1 1/2" PIPE, PER ASTM-F1083 | 8. STRETCHER BAR | 14. FINISH GRADE SHALL BE UNIFORM AND LEVEL | 20. LINE POST: CONCRETE FOUNDATION (2000 PSI) |
| 4. FABRIC: 9 GA CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392 | 9. 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD | 15. GATE POST 4" SCHEDULE 40 PIPE, FOR GATE WIDTHS UP THRU 7 FEET OR 14 FEET FOR DOUBLE SWING GATE, PER ASTM-F1083 | 21. CORNER POST: CONCRETE FOUNDATION (2000 PSI) |
| 5. TIE WIRE: MINIMUM 11 GA GALVANIZED STEEL AT POSTS AND RAILS A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED MAX. 24" INTERVALS | 10. FENCE CORNER POST BRACE: 1 5/8" DIA EACH CORNER EACH WAY | 16. GATE FRAME: 1 1/2" PIPE, PER ASTM-F1083 | 22. GATE POST: CONCRETE FOUNDATION (2000 PSI) |
| | 11. 1 1/2" MAXIMUM CLEARANCE FROM GRADE | 17. GATE LOCKING DEVICE (OFCI) | 23. GEOTEXTILE FABRIC |

GENERAL NOTES

- INSTALL FENCING PER ASTM F-567
- INSTALL SWING GATES PER ASTM F- 900
- LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED.
- POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE 1 1/2" GALV (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUAL).
- ALL OPEN POSTS SHALL HAVE END-CAPS.
- USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
- ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.



COMPOUND FENCE DETAIL

NO SCALE

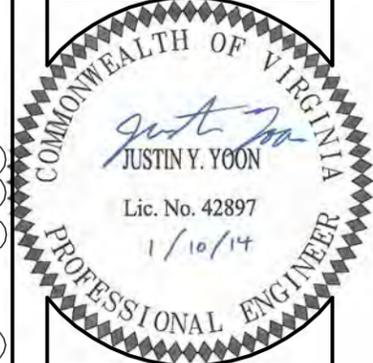
CLARK NEXSEN

Architecture & Engineering

1331 L STREET, NW
SUITE 600
WASHINGTON, DC 20005
202-461-3260 FAX 202-461-3266
WWW.CLARKNEXSEN.COM



1831 RADY COURT
RICHMOND, VA 23222



SITE INFO:

PETERSON
DRIVE

RAWLAND

5480 PETERSON DRIVE
RADFORD, VA 24141

MONTGOMERY COUNTY

| | |
|-----------|----------|
| DESIGN: | JYY |
| DRAWN: | KAW |
| REVIEW: | JYY |
| TTV DATE: | N/A |
| COMM. NO. | 3036.115 |

| SUBMITTALS | | |
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| △ | | |
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SHEET NAME:

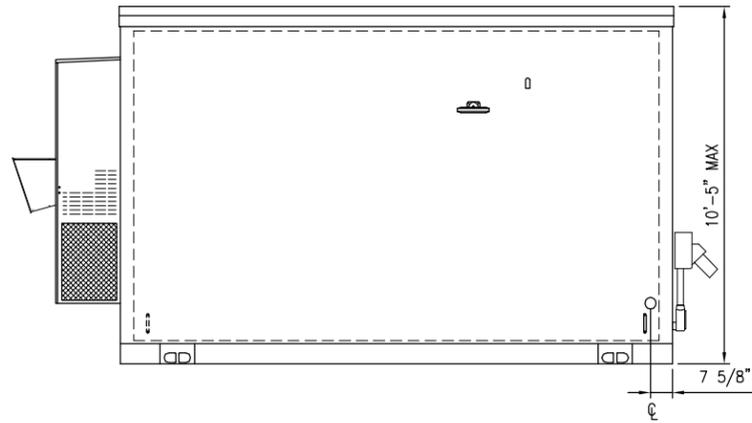
SITE DETAILS

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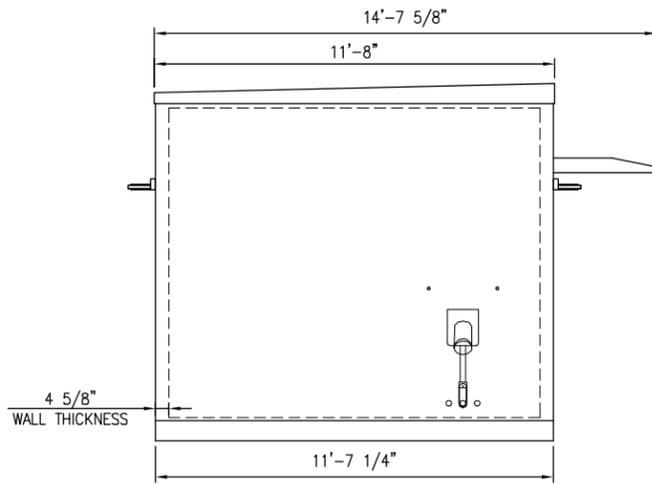
C-6

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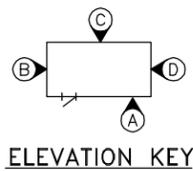
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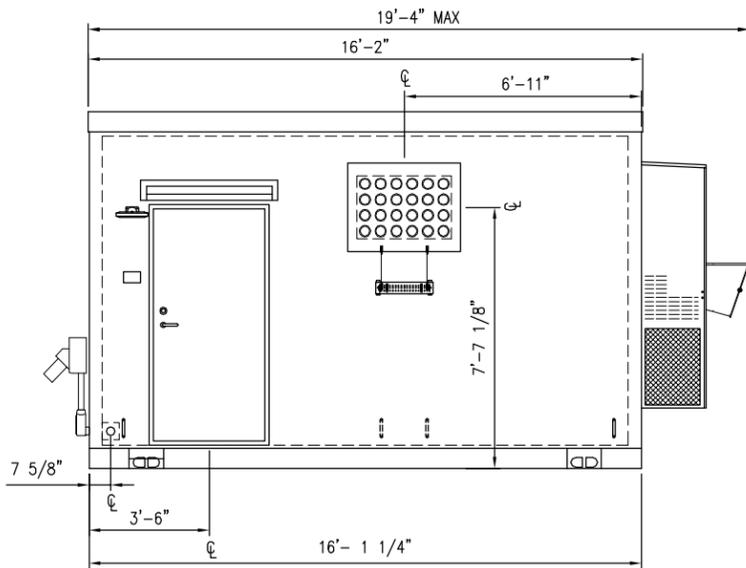
REAR WALL ELEVATION C



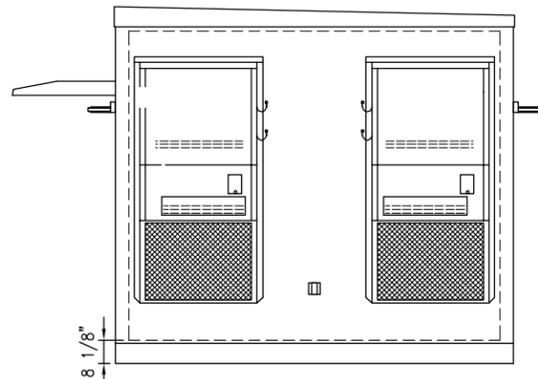
LEFT WALL ELEVATION B



ELEVATION KEY



FRONT WALL ELEVATION A



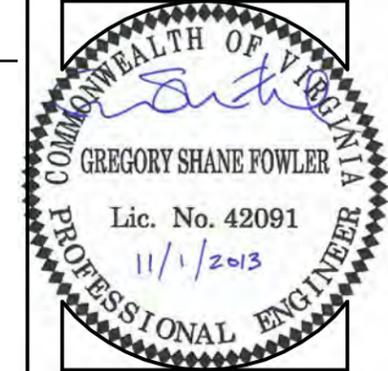
RIGHT WALL ELEVATION D

NOTES

1. THE SHELTER SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE 2009 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUSBC) EFFECTIVE MARCH 1, 2011.
2. REFER TO STRUCTURAL SHEETS FOR SHELTER LOAD REQUIREMENTS.
3. SHELTER WILL BE PLACED ON CONCRETE PIERS.
4. SHELTER SHALL BE LOCATED FIVE FEET (5'-0") OR MORE FROM ANY PROPERTY LINE, INTERIOR LOT LINE OR ANY OTHER BUILDING.
5. SHELTER WILL HAVE A DARK BROWN, AGGREGATE STONE FINISH.
6. SHELTER IS TO BE CLASSIFIED AS USE GROUP U, TYPE IIB CONSTRUCTION PER THE VUSBC.

SHELTER SELECTION WORKSHEET

| | |
|---------------------------------|-------------------------------------|
| SITE NAME | Peterson Drive |
| SITE ADDRESS | Peterson Drive Radford, VA 24141 |
| VZW PROJECT # (CONST) | |
| MARKET/SWITCH | |
| SHELTER TYPE | LIGHT WEIGHT |
| SHELTER DESCRIPTION | Vz12.16-1L |
| RF ENTRY PORTAL LOCATION | B |
| SHELTER SHELL CONSTRUCTION | |
| CLASS II-B NON-COMBUSTIBLE | VZ12.16-CLASS 2-B - LW |
| LEVEL II BULLET RESISTANT WALLS | VZ12.16LEVELIIBR - LW |
| EXTERIOR WALL FINISH | VZ12.16- STENNI - LW |
| 20 YEAR ROOFING DESIGN | VZ12.16- KYNAR - SSMR - LW |
| GENERAL EQUIPMENT ROOM | |
| FIBERGLASS DOOR CANOPY | VZ-F/G AWNING-48X36 |
| FIBERGLASS STEP LADDER | VZ-LADDER-6' |
| FIRE EXTINGUISHER | VZ-FE-10# CO2 |
| STEP-STOOL ON WHEELS | VZ-STEPSTOOL |
| FIRST AID KIT | VZ-FAK |
| GENERATOR ROOM | |
| GENERATOR | N/A |
| VENDOR | N/A |
| SIZE | N/A |
| FUEL TYPE | N/A |
| INSTALLATION | N/A |
| FIBERGLASS DOOR CANOPY | N/A |
| HVAC | |
| LEFT UNIT | H60L2-A05TPXXXJ (Left compressor) |
| RIGHT UNIT | H60A2-A05TPXXXJ (Right compressor) |
| CONTROLLER | MV4000-B |
| ILC | |
| PANEL/TRANSFER SWITCH/TVSS | AA300145826M |
| INSTALLATION | VZ-ILC-INSTALL-ATS |
| DOOR LOCKING | 7200NDVZWKIT-PG-INSTALL |
| HYDROGEN DETENTION & VENT FAN | VZN-XTRALISSYS-300CFM |
| EQUIPMENT INSTALLATION | FIBER RACK-INSTALL - \$2,757.00 |
| FOUNDATION TYPE | PIERS |



SITE INFO:
PETERSON DRIVE
RAWLAND

5480 PETERSON DRIVE
RADFORD, VA 24141

MONTGOMERY COUNTY

DESIGN: GSF
DRAWN: KAW
REVIEW: JY
TTV DATE: N/A
COMM. NO. 3036.115

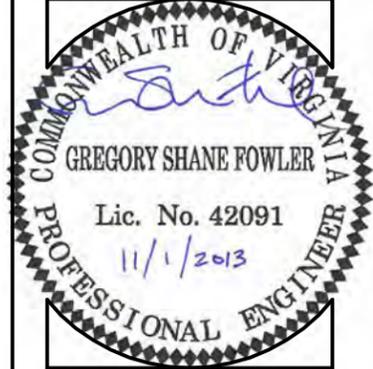
| SUBMITTALS | | |
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| △ | ENSITE PLAN | 08/22/13 |
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| △ | | |
| △ | | |

SHEET NAME:

SHELTER ELEVATIONS

SHEET NO.:

A-1



SITE INFO:

PETERSON
DRIVE

RAWLAND

5480 PETERSON DRIVE
RADFORD, VA 24141

MONTGOMERY COUNTY

DESIGN: GSF
DRAWN: KAW
REVIEW: JYY
TTV DATE: N/A
COMM. NO. 3036.115

SUBMITTALS

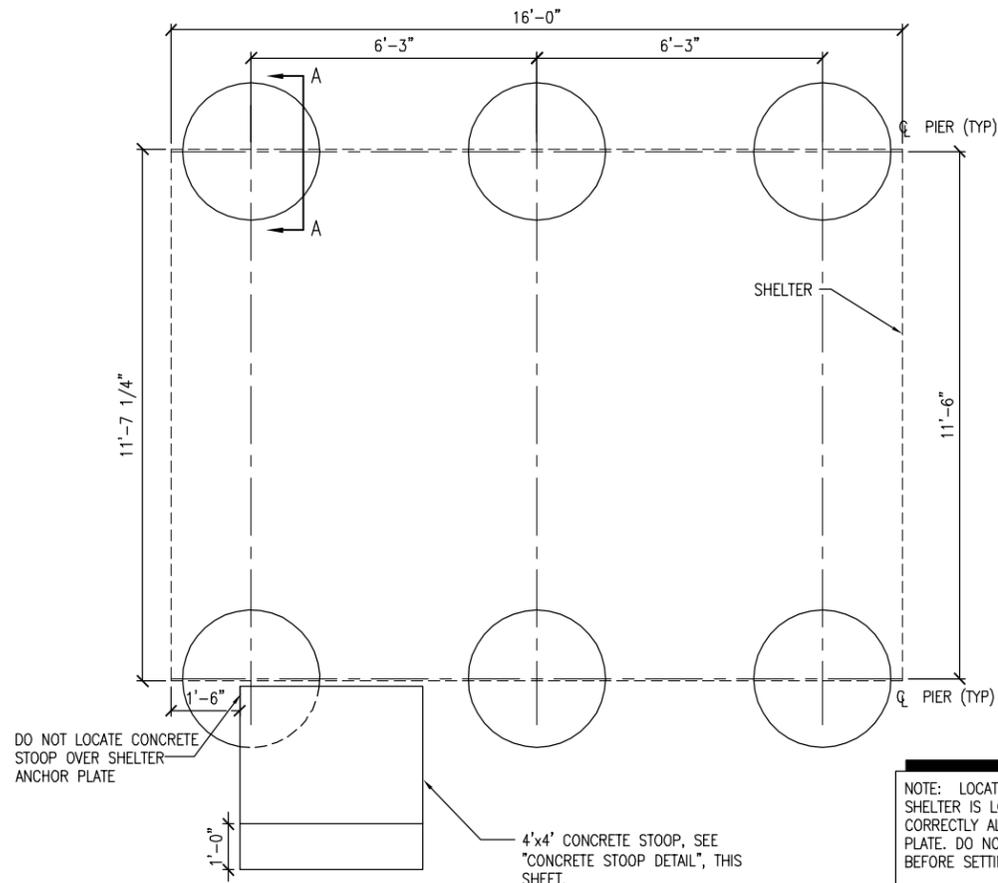
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| △ | | |
| △ | | |

SHEET NAME:

**FOUNDATION
PLAN AND DETAILS**

SHEET NO.:

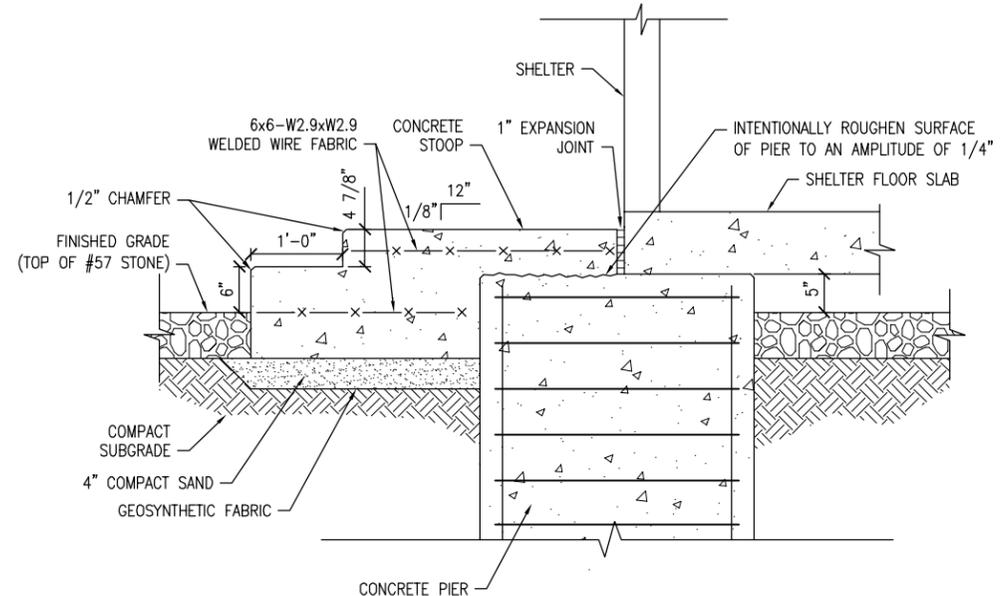
S-2



PIER LAYOUT

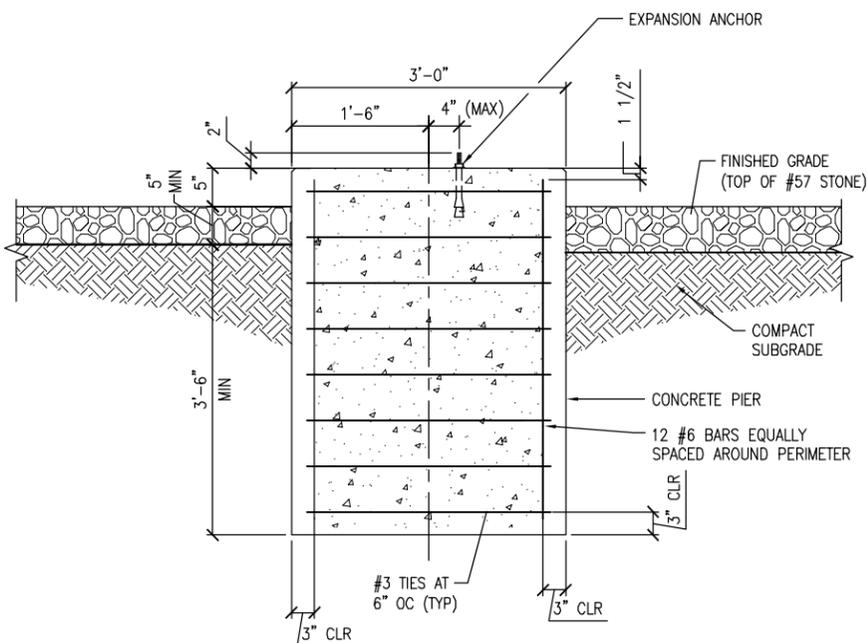
FOR 24" X 36" PLOT - 1/2" = 1'-0" 0 6" 1' 2'
FOR 11" X 17" PLOT - 1/4" = 1'-0"

NOTE:
TOP OF STOOP SHALL COMPLY WITH IBC-2009, SECTION 1009.4. CLARK-NEXSEN SHALL BE CONTACTED IMMEDIATELY IF DETAILS PROVIDED DO NOT ACCOMMODATE THIS REQUIREMENT. CHAMFER OF STAIR NOSINGS SHALL NOT EXCEED 1/2".



CONCRETE STOOP DETAIL

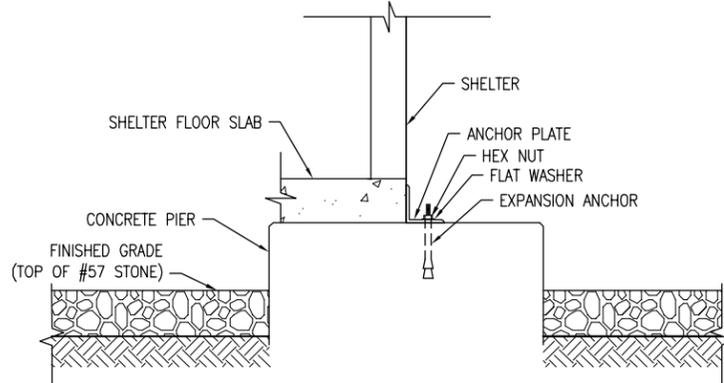
FOR 24" X 36" PLOT - 1" = 1'-0" 0 6" 1'
FOR 11" X 17" PLOT - 1/2" = 1'-0"



CONCRETE PIER A-A (TYPICAL)

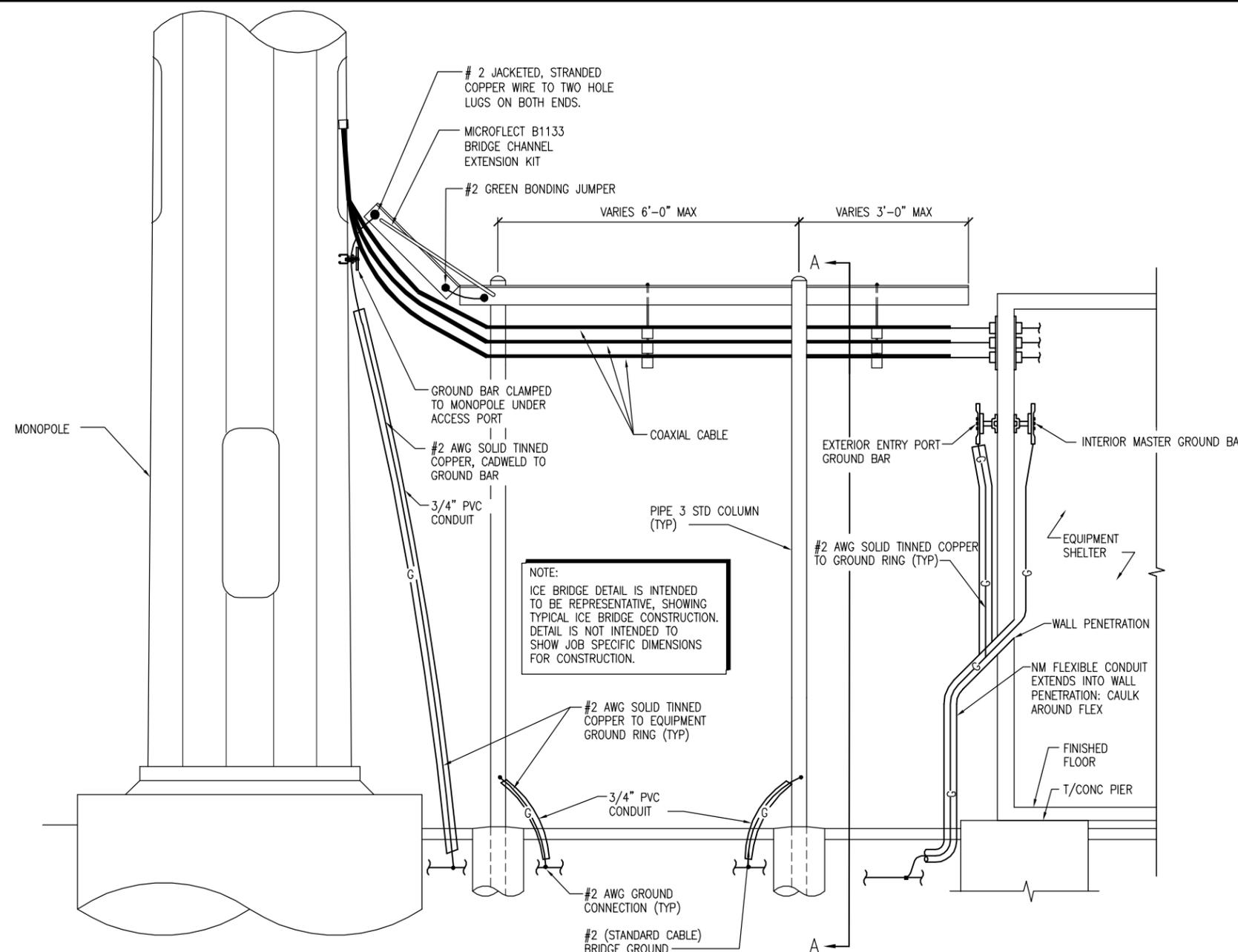
FOR 24" X 36" PLOT - 1" = 1'-0" 0 6" 1'
FOR 11" X 17" PLOT - 1/2" = 1'-0"

NOTE:
PIER LAYOUT AND SHELTER TIE DOWN ARE AS SPECIFIED BY THE SHELTER MANUFACTURER. SHELTER MANUFACTURER SHALL PROVIDE SHELTER-TO-PIER CONNECTION SPECIFICATIONS. SHELTER FLOOR SLAB SHALL BE DESIGNED TO SPAN UNSUPPORTED BETWEEN PIERS.



BUILDING ATTACHMENT

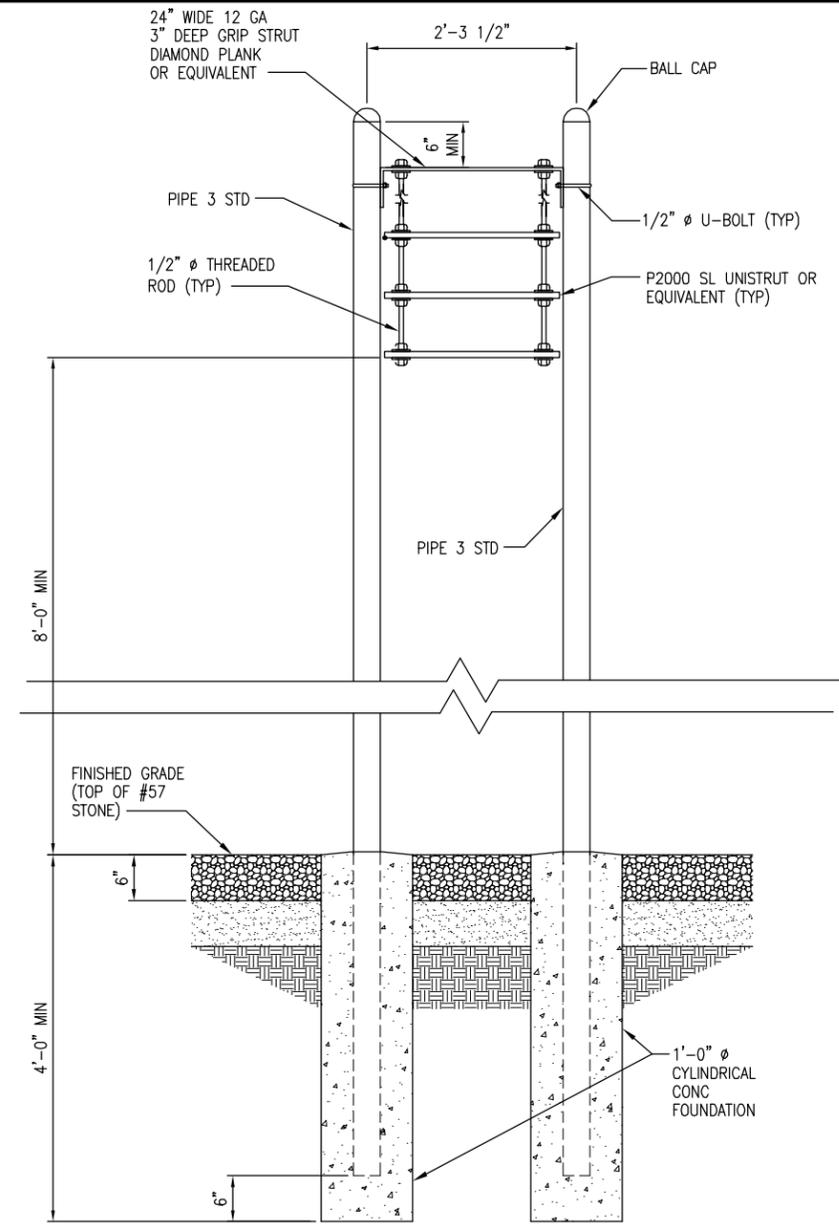
FOR 24" X 36" PLOT - 1" = 1'-0" 0 6" 1'
FOR 11" X 17" PLOT - 1/2" = 1'-0"



NOTE:
ICE BRIDGE DETAIL IS INTENDED TO BE REPRESENTATIVE, SHOWING TYPICAL ICE BRIDGE CONSTRUCTION. DETAIL IS NOT INTENDED TO SHOW JOB SPECIFIC DIMENSIONS FOR CONSTRUCTION.

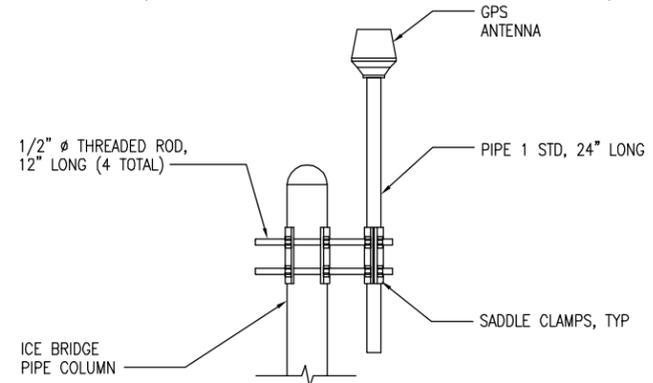
ICE BRIDGE DETAIL

FOR 24" X 36" PLOT - 3/4" = 1'-0"
FOR 11" X 17" PLOT - 3/8" = 1'-0"



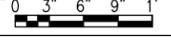
SECTION-ICE BRIDGE A-A

FOR 24" X 36" PLOT - 1" = 1'-0"
FOR 11" X 17" PLOT - 1/2" = 1'-0"

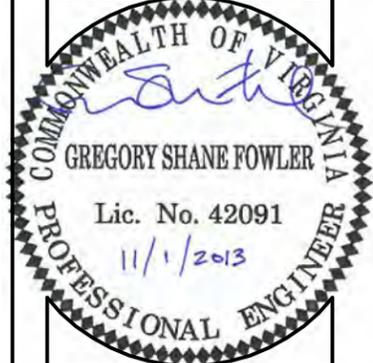


GPS ANTENNA MOUNTING BRACKET

FOR 24" X 36" PLOT - 1 1/2" = 1'-0"
FOR 11" X 17" PLOT - 3/4" = 1'-0"



1831 RADY COURT
RICHMOND, VA 23222



SITE INFO:

PETERSON
DRIVE

RAWLAND

5480 PETERSON DRIVE
RADFORD, VA 24141

MONTGOMERY COUNTY

| | |
|-----------|----------|
| DESIGN: | GSF |
| DRAWN: | KAW |
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| TTV DATE: | N/A |
| COMM. NO. | 3036.115 |

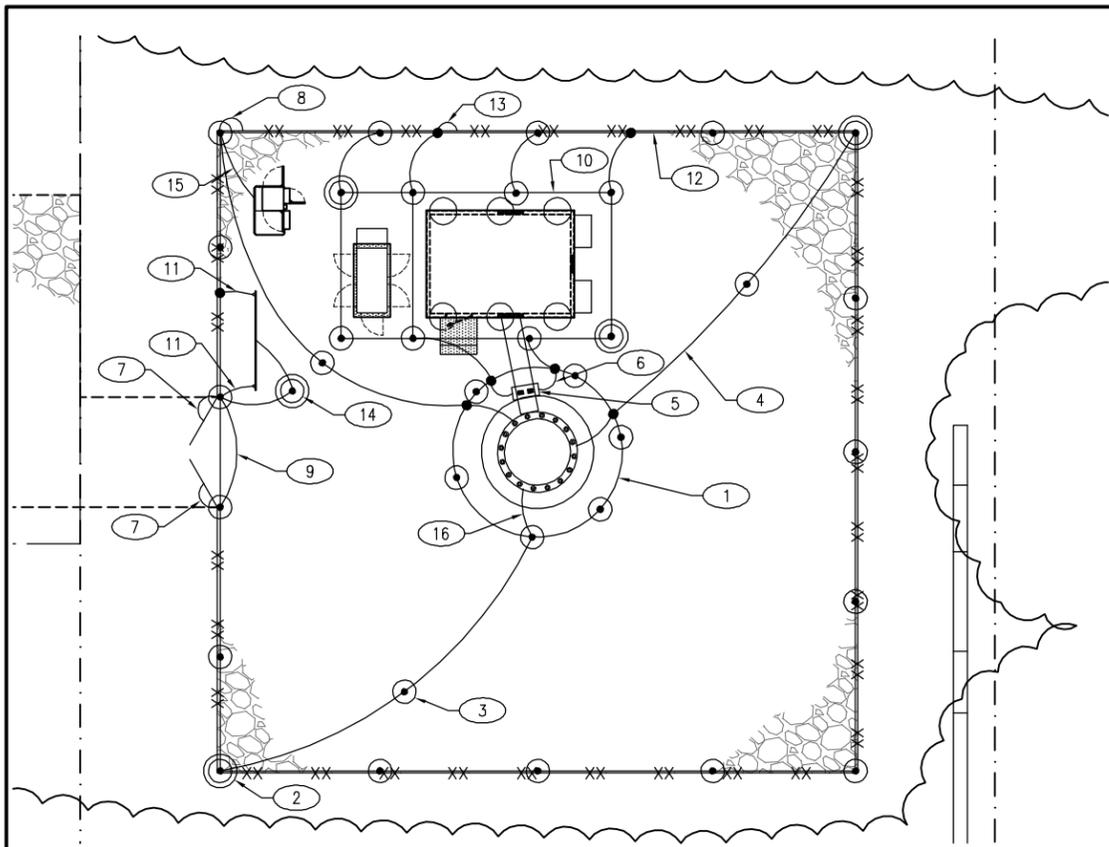
| SUBMITTALS | | |
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| SYM. | DESCRIPTION | DATE |
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| △ | | |
| △ | | |

SHEET NAME:

**ICE BRIDGE
DETAILS**

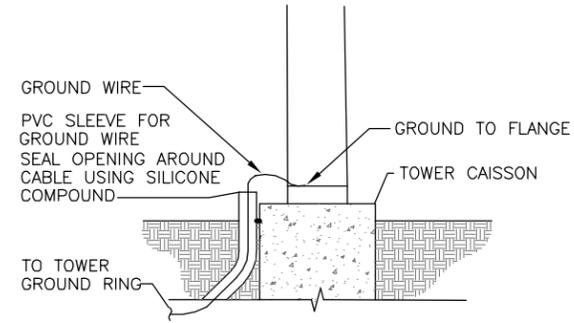
SHEET NO.:

S-3



SITE PLAN

FOR 22" X 34" PLOT - 1" = 5'
 FOR 11" X 17" PLOT - 1" = 10'



GROUND LEAD WITH PVC SLEEVE

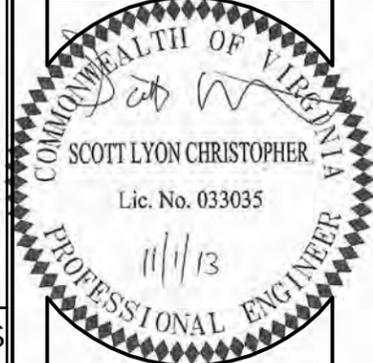
NOT TO SCALE

GENERAL GROUNDING NOTES

- A. #2 TINNED COPPER GROUND WIRE ABOVE THE GRADE SHALL BE SHEATHED IN 3/4" GRAY PVC CONDUIT, SEAL TOP WITH GRAY 20 YEAR SILICONE CAULK. INSTALL CONDUIT TO CADWELD CONNECTION AT GROUND RING.
- B. INDICATED DRAWING LOCATIONS ARE FOR SCHEMATIC PURPOSE ONLY. EXACT LOCATION SHOULD BE VERIFIED BY CONTRACTOR.
- C. GROUND RING TO BE PLACED A MINIMUM DISTANCE OF 2' FROM ANY CONCRETE FOUNDATION.
- D. FENCE TO BE CONNECTED TO GROUND RING AT CORNERS WITH CADWELD AT FENCE POST AND GROUND ROD.
- E. TOWER LEG TO BE CONNECTED TO GROUND ROD IN TOWER RING. CADWELD TO TOWER LEG, 3' ABOVE BASE PLATE.
- F. GATE LEAF TO BE CADWELDED TO GATE POST WITH #4/0 WELDING CABLE.
- G. CADWELD A #2 LEAD FROM GATE POST TO GATE POST.
- H. ALL GROUND LEADS TO GROUND RING CONNECTIONS SHALL BE AT A GROUND ROD.
- J. PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL CONTACT "MISS UTILITIES" AT 811 AND HAVE THEM LOCATE ALL UNDERGROUND UTILITIES 72 HOURS BEFORE DIGGING. ALL DAMAGE RESULTING FROM FAILURE TO CONTACT "MISS UTILITIES" WILL BE AT THE CONTRACTOR'S EXPENSE.

GROUNDING SITE PLAN NOTES

- 1. #2 TINNED SOLID COPPER TOWER GROUND RING.
- 2. INSPECTION PORT. SEE DETAIL, SHEET E-3.
- 3. GROUND ROD (TYP). SEE DETAIL, THIS E-3.
- 4. #2 TINNED SOLID COPPER GROUND WIRE FROM GROUND RING TO FENCE (TYP OF 3).
- 5. 1/4" x 4" x 12" TOWER BOTTOM TINNED COPPER GROUND BAR. MOUNT AT TOWER CROSSBAR WITH ANTI-THEFT HARDWARE.
- 6. #2 TINNED SOLID COPPER GROUND WIRE FROM GROUND RING TO TOWER GROUND BAR (TYP OF 2).
- 7. GATE GROUNDING.
- 8. FENCE TO BE CONNECTED TO GROUND RINGS AT CORNERS WITH CADWELD AT FENCE POST AND GROUND ROD.
- 9. #2 TINNED SOLID COPPER GROUND WIRE FROM GATE POST TO GATE POST.
- 10. SHELTER GROUND RING SYSTEM, SEE SHELTER GROUND RING SCHEMATIC DETAIL, SHEET E-3. SHELTER GROUND RING TO ENCOMPASS GENERATOR PAD.
- 11. #2 TINNED SOLID COPPER TO NEW SERVICE STAND (TYP OF EACH POST).
- 12. #2 TINNED SOLID COPPER PERIMETER GROUND RING.
- 13. FENCE POST GROUND LEAD TO PERIMETER GROUND. 20' MAX SPACING ALONG PERIMETER.
- 14. SERVICE GROUND, SEE POWER/TELCO RISER DIAGRAM ON SHEET E-1.
- 15. #2 TINNED SOLID COPPER GROUND WIRE FROM MESA CABINET TO PERIMETER GROUND.
- 16. #2 TINNED SOLID COPPER GROUND WIRE FROM TOWER GROUND RODS TO TOWER MAST. (TYP OF 3). SEE DETAIL THIS SHEET



SITE INFO:
 PETERSON DRIVE
 RAWLAND
 5480 PETERSON DRIVE
 RADFORD, VA 24141

MONTGOMERY COUNTY

| | |
|-----------|----------|
| DESIGN: | CMC |
| DRAWN: | CMC |
| REVIEW: | SLC |
| TTV DATE: | N/A |
| COMM. NO. | 3036.115 |

SUBMITTALS

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| △ | | |
| △ | | |

SHEET NAME:
 GROUNDING PLAN

SHEET NO.:
 E-2



MONTGOMERY COUNTY DEPARTMENT OF
PLANNING & GIS SERVICES

PLANNING
GIS & MAPPING

755 ROANOKE STREET, SUITE 2A, CHRISTIANSBURG, VIRGINIA 24073-3177

MEMORANDUM

TO: Planning Commission

FROM: Brea Hopkins, Development Planner (BH)

DATE: May 7, 2014

FOR: May 14, 2014 Planning Commission Public Hearing

RE: **Staff Analysis (RZ-2014-11614)**

A request by **Montgomery County Board of Supervisors and Taylor Hollow Management (Agent: Balzer & Associates)** for rezoning of approximately 3.328 acres from Agriculture (A1) to Traditional Neighborhood Development-Infill (TND-I) and 5.00 acres from Agriculture (A1) to Residential Multi-Family (RM-1), with possible proffered conditions, to allow multi-family residential, residential, and limited commercial uses. In addition, a special use permit (SUP) is requested in the Traditional Neighborhood Development-Infill (TND-I) District to allow senior housing and a farm market. The property is known as the former Prices Fork Elementary School and is located at **4237 Prices Fork Road**, identified as Tax Parcel No. 052-A-50, (Acct No. 070688), in the Prices Fork Magisterial District (District E). The property currently lies in an area designated as Village Expansion in the Comprehensive Plan and Mixed Use in the Prices Fork Village Plan with a maximum density of four (4) dwelling units per acre.

I. NATURE OF REQUEST

The applicants are requesting rezoning of approximately 3.328 acres from Agriculture (A1) to Traditional Neighborhood Design Infill (TND-I) and 5.00 acres from Agriculture (A1) to Residential Multi-Family (RM-1), with possible proffered conditions, to allow multi-family residential, residential, and limited commercial uses.

In addition, a special use permit (SUP) is requested in the Traditional Neighborhood Development-Infill (TND-I) District to allow senior housing and a farm market.

There are three (3) phases proposed in the redevelopment of the property. Phase I includes renovation of the interior of the existing school building to allow senior housing units and commercial uses such as a daycare facility, medical offices, small-scale retail store, a community based restaurant, and/or a farm market to allow local foods to be distributed. Based on market demands, Phase II includes the development of the 5.00 acre portion of the property to include multi-family housing. Phase III of the

property includes a potential addition to the existing school building for additional senior housing units. There will be a maximum of thirty-six (36) senior housing units in Phase I & III.

II. LOCATION

The property is known as the former Prices Fork Elementary School and is located at **4237 Prices Fork Road**, identified as Tax Parcel No. 052-A-50, (Acct No. 070688), in the Prices Fork Magisterial District (District E). The area surrounding this property is zoned Agriculture (A-1). See attached zoning map.

III. BACKGROUND

This site was formerly the Prices Fork Elementary School which was relocated approximately 1/2 mile East on Prices Fork Road in 2011. Since that time, the building has remained vacant. In 2013, the County requested proposals for redevelopment of the school and property that would complement the Prices Fork Village Plan. As a result of that process, the County has entered into a contract with Taylor Hollow Management to allow the purchase and redevelopment of the property including maintaining the existing school building as a historic structure.

IV. IMPACTS

The potential impacts associated with rezoning this property are discussed below.

Transportation

The site is located along Prices Fork Road (Route 685) with a posted speed limit of 35 miles per hour. The amount of potential traffic was estimated at maximum build out using the most intensive uses for the proposed zoning districts. Based on those estimates the calculations for maximum total of trips per weekday from the site would be 1,109 (511 residential uses and 598 commercial uses). The applicant has proposed to continue use of the two (2) existing entrances, and are willing to upgrade them as necessary to meet current VDOT standards.

On March 19, 2014, VDOT issued a comment letter (see attached) after their review of the submitted request. Based on the review Mr. Douglas Burton, NRV Area Land Use Engineer, has requested the evaluation for turn lanes be submitted, and noted a potential exception request may be required in order to maintain the two (2) existing entrances to the site. VDOT did reserve the right to request a traffic impact analysis based on that exception request.

Based on the goals of the comprehensive plan to calm traffic within the Village, staff would not recommend the installation of turn lanes as that will increase the speed of traffic commuting through the Village. Based on previous reports the majority traffic is generated by commuters to and from the Blacksburg/Radford area and not the citizens living within the Village. The Village Plan outlines the need for a "connector" road or "bypass" to the South of the Prices Fork Village. If/when this connector could be constructed, the traffic flow through the Village area would be greatly decreased.

Prior to the issuance of site plan approval and/or any permits, a land use permit will need to be obtained from VDOT for the proposed entrances to the site.

Emergency Services

Montgomery County Emergency Services Director, Neal Turner, reviewed the proposed development. He confirmed the existence of a fire hydrant at the front of the property and indicated keeping the two (2) existing entrances would be beneficial for fire/rescue access. It would be preferred that a sprinkler system be installed during renovation to provide further protection of all occupants in case of a fire emergency.

Mr. Turner questioned the potential number and age of the children in the prospective childcare facility to be located within the existing space. He recommended that the state licensing requirements such as child to teacher ratios be followed to ensure the health and safety of those occupants. In response, the applicant has provided a proffer that any day care facility would follow all state regulations.

Infrastructure

The property is currently in the Montgomery County PSA water and sewer service area. According to a letter from Mr. Bob Fronk, PSA Director, dated February 3, 2014 (see attached), public water and sanitary sewer can be provided by the PSA. Public water and sewer were previously provided to the property by a 2" water meter service. A minimum 8" water main extension to the proposed multi-family development would be required. This letter was issued based on the maximum number of dwelling units that could be allowed under current zoning regulations. The developer has proffered the site will be served by PSA sewer and water.

Schools

Montgomery County Public Schools submitted a comment letter dated March 14, 2014 (see attached), concerning the potential impact that this proposed development would have on the county school system.

The letter indicates that children from residential dwellings in this proposed development would attend Prices Fork Elementary School, Blacksburg Middle School and Blacksburg High School. Prices Fork Elementary has a capacity of 632 students and has a current enrollment of 373 students. Blacksburg Middle School has a capacity of 1,200 students and a current enrollment of 830 students. The new Blacksburg High School has a capacity of 1,400 students and has a current enrollment of 1,112 students. According to the letter, the project at maximum density could potentially add 56 children to the school system or approximately 4-5 students in every grade level upon full build-out.

The private road through the multi-family portion of the development will not be accessible by public school buses therefore; school children will have to go to the intersection with Prices Fork Road in order to catch the bus. The school system has requested consideration of providing a bus shelter at/near the bus pick up location and the applicant has proffered to provide a shelter for any residential use other than senior housing or if public transit is made available to the site.

V. COMPREHENSIVE PLAN

The subject property is in an area designated Village on the future policy map of the comprehensive plan and further designated as Mixed Use in the Prices Fork Village Plan.

Village- Mixed Use

The County's Comprehensive Plan (PLU 1.7) identifies these as areas planned for higher density with a mix of residential, business, industrial, and institutional uses. Villages should be predominately residential and are designated to consume 1/3 of the proposed growth in the county.

The Prices Fork Village plan has an overall gross density of two (2) dwelling units per acre. At this time there is an abundance of vacant land within the Village, so this request will not cause this overall density to be met. The net density of a tract within the Village should not exceed five (5) dwellings per net acre; however, a new development may be somewhat higher than this guideline depending on the constraints of the site, how well policies are met, and if the developer can mitigate impacts of the development.

It appears this project, even at maximum density would meet several goals of the County Comprehensive Plan and the Prices Fork Village Plan. Staff has highlighted below a few of the key policies as they relate to the proposed rezoning request (see also application materials for additional policies related to the request):

- PFV 1.1.2 states "New development must be compatible with the traditional forms and architectural character of the village". This proposal would allow the existing school to be rehabilitated and maintain the architectural character of the area. The applicant has proffered that new structures will be built in keeping with the Prices Fork Village plan principles.
- PFV 1.1.4 and PFV 1.1.7 outlines the need for a variety of housing types including senior housing with "universal design" methods to allow people to age in place. Based on market demands, the proposed development will assist in meeting those needs and provide a variety of housing types for all ranges of age groups, and income levels.
- PFV 1.4.8 outlines a variety of design details which have been included on the proposed plan. The developer is preserving the historic structure and adapting its use, locating new parking areas to the rear and side of the building, and has proffered to provide pedestrian facilities and trail connections as needed.

A main focus of the Prices Fork Village Plan has been to encourage coordination between property owners and encourage a unified community. Taylor Hollow, LLC has held multiple community meetings to discuss the redevelopment of this site. In addition, the County held a community meeting at the new Prices Fork Elementary School to hear concerns, ideas, etc. from community members. The information from that meeting is discussed in the "Analysis" section of this report.

Comprehensive Plan Summary

As evidenced above, the intent of the proposal appears consistent with the Montgomery County 2025 Comprehensive Plan and the Prices Fork Village Plan. This development meets the majority of the goals and objectives for this area and does qualify for consideration of rezoning from Agriculture (A-1) to Traditional Neighborhood Design Infill (TND-I) and Residential Multiple Family (RM-1).

VI. ANALYSIS

The subject parcel qualifies for rezoning to Traditional Neighborhood Design- Infill (TND-I) and Residential Multiple Family (RM-1) based on the submittal requirements of the zoning ordinance. The proposed zoning change will present a significant change in land use; however, is in substantial compliance with the Prices Fork Village Plan.

On April 23rd, the County hosted a community meeting to hear comments, questions, and concerns from area residents regarding the rezoning request and potential development. Although not all people signed the attached sign-in sheet, approximately 24 people attended. Residents noted that they were pleased the existing school site would remain and was being requested for inclusion in the Historic District. They did voice concerns regarding traffic, lack of details regarding the property designated for Residential Multi-Family (RM1), "split" zoning of the property, development of the ball fields resulting in loss of open space, and the potential commercial uses for the former school structure. Summary meeting notes of the questions and comments voiced at the meeting plus any written correspondence received is attached.

Several proffers have been developed by Taylor Hollow, LLC to address some of the concerns raised at the community meeting and ensure the project will incorporate policies outlined by the Prices Fork Village Plan. Those proffers include:

- 1) If mutually beneficial to the applicant and Montgomery County, the applicant will provide a trail connection to a future trail system provided by Montgomery County on the eastern side of the property.
- 2) The applicant commits to coordinate with Montgomery County and the Virginia Department of Transportation in the future in regards to the dedication of additional right of way or easements to better facilitate pedestrian, bicycle or vehicular travel along the subject property's frontage on Prices Fork Road within the Prices Fork historic village area.
- 3) The applicant will provide a covered bus shelter along the frontage of Prices Fork road at the time the property is serviced by public transit. The bus shelter will also be provided if Phase II is developed for any residential use other than senior housing.
- 4) Any additional building constructed in the TND Infill district as shown in Phase III will have an architectural style that is complimentary to the existing building.
- 5) Any structures located in Phase II will have a variety of exterior finishes, textures and styles that are in keeping with the Prices Fork Village Comprehensive plan principles including but not limited to masonry materials such as brick or stone, cementitious siding, and vinyl siding.
- 6) The project will incorporate the following sustainable design features:
 - a. Maximize the walkability of the property with sidewalks and pedestrian paths.
 - b. Maximize green space and limit hard paved surfaces.
 - c. Residential units will be energy efficient and will meet Energy Star certification where applicable.

Staff concurs that there are few details regarding the future development; however, given the proffers submitted, size of the lot, required open space, required landscaping, storm water management requirements, etc. it appears the development would meet the intent of the Prices Fork Village Plan. Fifteen (15%) of the lot zoned RM-1 shall be dedicated as open space and/or active recreation area and it should be noted open space is not required in the TND-I district.

Development of the rear portion of the property would not reduce the open space in the Village given the new Prices Fork Elementary School still lies within the designated Village and offers more open space than the former school site. In response to the unknown development of the RM-1 proposal, the developer has proffered to submit the site plan to the planning commission for additional review and approval versus obtaining administrative approval only.

Taylor Hollow, LLC submitted this project to the American Architectural Foundation (AAF) Sustainable Cities Design Academy (SCDA) and was one of 8 public-private development teams selected to receive national design assistance (see attached press release). This academy will provide assistance in addressing specific design challenges and explore the mix of potential uses for the existing school building. As noted previously, the developer has identified a need in the community for a day care and other commercial uses such as a food incubator, café, local food market, etc. Staff would agree that such uses would be supportive to the community and meet the intent of the Prices Fork Village Plan.

On May 14th, the Department of Historical Resources will hold a public information hearing regarding the nomination and potential inclusion of the former Prices Fork Elementary School in the Prices Fork Historic District. If included in the historic district, the site will be available for rehabilitation tax credits to assist with funding the project. Virginia Department of Historic Resources will require that the façade, character, and defining features of the school will remain intact. The overall result will be that the school will be an updated version of the existing structure and will maintain all historical features.

VII. STAFF RECOMMENDATION

Staff's preliminary recommendation is to approve this request with the following proffered conditions.

- 1) Property shall be developed in substantial conformance with the conceptual plan by Balzer and Associates, Inc. dated March 3, 2014.
- 2) The site shall be served by Montgomery County PSA sanitary sewer and water. The rezoning of the property does not allocate or reserve water and sewer capacity for the proposed development. Site plan approval for the development shall be conditioned upon adequate water and sewer capacity being available.
- 3) A detailed site plan in conformance with zoning ordinance requirements shall be submitted and approved by the zoning administrator and all other necessary local and state agencies prior to issuance of building permits for this development.
- 4) Stormwater management on the property shall be in accordance with all State and Local stormwater management standards.
- 5) The following uses will be prohibited in the TND Infill district and the RM-1 district: funeral home, cemetery, boarding or transition houses, and park and ride lot.
- 6) If mutually beneficial to the applicant and Montgomery County, the applicant will provide a trail connection to a future trail system provided by Montgomery County on the eastern side of the property.
- 7) The applicant commits to coordinate with Montgomery County and the Virginia Department of Transportation in the future in regards to the dedication of additional right of way or easements to better facilitate pedestrian, bicycle or vehicular travel along the subject property's frontage on Prices Fork Road within the Prices Fork historic village area.

- 8) The applicant will provide a covered bus shelter along the frontage of Prices Fork road at the time the property is serviced by public transit. The bus shelter will also be provided if Phase II is developed for any residential use other than senior housing.
- 9) Any additional building constructed in the TND Infill district as shown in Phase III will have an architectural style that is complimentary to the existing building.
- 10) Any structures located in Phase II will have a variety of exterior finishes, textures and styles that are in keeping with the Prices Fork Village Comprehensive plan principles including but not limited to masonry materials such as brick or stone, cementitious siding, and vinyl siding.
- 11) The project will incorporate the following sustainable design features:
 - a. Maximize the walkability of the property with sidewalks and pedestrian paths.
 - b. Maximize green space and limit hard paved surfaces.
 - c. Residential units will be energy efficient and will meet Energy Star certification where applicable.
- 12) Prior to site plan approval of Phase II, the applicant agrees to submit the site plan to the Montgomery County Planning Commission for their review and comment on the proposed plan's compatibility with the approved zoning. The applicant further agrees to a work session meeting with the Planning Commission to discuss the site plan.
- 13) The applicant will investigate the opportunity to work with Montgomery County to obtain Community Development Block Grant or Home Consortium funds and other types of alternative financing for the development of Phase II.
- 14) Any daycare facility proposed for the project will be fully licensed and certified to meet all required Federal, State and Local guidelines governing daycare facilities.

At the time this report was issued, the Planning and GIS Services office had been contacted regarding this request by several concerned citizens. Copies of correspondence from citizens has been included in this packet.

Adjoining property owners were notified in accordance with Montgomery County Code Section 10-52(3). Consideration should be given to adjacent property owners or other interested citizens attending the public hearing to express their views regarding this request.

Enclosures: Aerial and Zoning Map
Revised Proffers Dated May 5, 2014
Application Materials
Press Release
Letter from Montgomery County Schools dated March 14, 2014
Letter from VDOT, dated March 19, 2014
Community Input Meeting Summary Notes & Sign In Sheet dated April 23, 2014
Citizen Correspondences

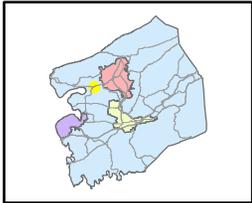


**Board of Supervisors
(Balzer & Assoc)
Request
for
Rezoning
and
Special Use Permit
A1 to TND-I and RM-1**

Legend

-  State Roads
-  Interstate Highway
-  Private Roads (Named)
-  Planned Highway
-  Hydrology
-  Tax Parcels
-  Subject Parcel (BOS)

Parcel Date: Jan 2014
Source Montgomery County Commissioner of Revenue



Montgomery County, Virginia
D-5-C-1-AM-06

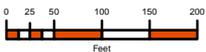
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EXACT LOCATION OF ANY FLOOD ZONE TO BE CERTIFIED BY LICENSED LAND SURVEYOR, ENGINEER, OR ARCHITECT.

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Prepared by Montgomery County, Va
Planning & GIS Services, 03/04/2014



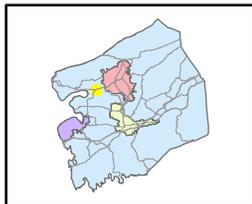


**Board of Supervisors
(Balzer & Assoc)
Request
for
Rezoning
and
Special Use Permit
A1 to TND-I and RM-1**

Legend

- State Roads
- Interstate Highway
- Private Roads (Named)
- Planned Highway
- Hydrology
- Tax Parcels
- Subject Parcel (BOS)
- Zoning Class**
- A1 - Agriculture
- CB - Community Business
- Special Use Permits
- Variances

Parcel Date: Jan 2014
Source: Montgomery County Commissioner of Revenue



Montgomery County, Virginia

DISCLAIMER
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Prepared by Montgomery County, Va
Planning & GIS Services, 03/04/2014



**Subject Property
Former
Prices Fork
Elementary School**

TAYLOR HOLLOW MANAGEMENT, LLC –
OLD PRICES FORK ELEMENTARY SCHOOL REDEVELOPMENT
REZONING PROFFER STATEMENT

Dated: March 3, 2014

Revised: May 5, 2014

Proffer Statement for a requested rezoning application of Tax Parcel #052-A 50 located at 4237 Prices Fork Road.

The owner/applicant hereby voluntarily proffers that this property will be developed in accordance with the following conditions if and only if, approval of the proposed rezoning is granted. These proffers will be included in all future transactions of the property to all owners, their successors and assigns.

We hereby proffer the development of the subject property of this application shall be in strict accordance with the conditions set forth in this submission.

- 1) Property shall be developed in substantial conformance with the conceptual plan by Balzer and Associates, Inc. dated March 3, 2014.
- 2) The site shall be served by Montgomery County PSA sanitary sewer and water. The rezoning of the property does not allocate or reserve water and sewer capacity for the proposed development. Site plan approval for the development shall be conditioned upon adequate water and sewer capacity being available.
- 3) A detailed site plan in conformance with zoning ordinance requirements shall be submitted and approved by the zoning administrator and all other necessary local and state agencies prior to issuance of building permits for this development.
- 4) Stormwater management on the property shall be in accordance with all State and Local stormwater management standards.
- 5) The following uses will be prohibited in the TND Infill district and the RM-1 district: funeral home, cemetery, boarding or transition houses, and park and ride lot.
- 6) If mutually beneficial to the applicant and Montgomery County, the applicant will provide a trail connection to a future trail system provided by Montgomery County on the eastern side of the property.
- 7) The applicant commits to coordinate with Montgomery County and the Virginia Department of Transportation in the future in regards to the dedication of additional right of way or easements to better facilitate pedestrian, bicycle or vehicular travel along the subject property's frontage on Prices Fork Road within the Prices Fork historic village area.
- 8) The applicant will provide a covered bus shelter along the frontage of Prices Fork road at the time the property is serviced by public transit. The bus shelter will also be provided if Phase II is developed for any residential use other than senior housing.
- 9) Any additional building constructed in the TND Infill district as shown in Phase III will have an architectural style that is complimentary to the existing building.
- 10) Any structures located in Phase II will have a variety of exterior finishes, textures and styles that are in keeping with the Prices Fork Village Comprehensive plan principles including but not limited to masonry materials such as brick or stone, cementitious siding, and vinyl siding.
- 11) The project will incorporate the following sustainable design features:
 - a. Maximize the walkability of the property with sidewalks and pedestrian paths.

- b. Maximize green space and limit hard paved surfaces.
 - c. Residential units will be energy efficient and will meet Energy Star certification where applicable.
- 12) Prior to site plan approval of Phase II, the applicant agrees to submit the site plan to the Montgomery County Planning Commission for their review and comment on the proposed plan's compatibility with the approved zoning. The applicant further agrees to a work session meeting with the Planning Commission to discuss the site plan.
 - 13) The applicant will investigate the opportunity to work with Montgomery County to obtain Community Development Block Grant or Home Consortium funds and other types of alternative financing for the development of Phase II.
 - 14) Any daycare facility proposed for the project will be fully licensed and certified to meet all required Federal, State and Local guidelines governing daycare facilities.

Joseph A. Foll
 TAYLOR HOLLOW MANAGEMENT, LLC - Applicant Date

Commonwealth of Virginia
 County of Montgomery

The foregoing instrument was acknowledged before me this 6th day of May 2014 by:
Radford, City of Montgomery County.

F. Fallon
 Notary Public

My commission expires 3/31/16



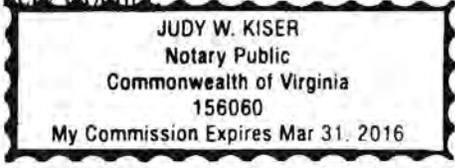
F. Craig Meadows 5/7/14
 MONTGOMERY COUNTY BOARD OF SUPERVISORS - Applicant Date

Commonwealth of Virginia
 County of Montgomery

The foregoing instrument was acknowledged before me this 7th day of May 2014 by:
F. Craig Meadows of Montgomery County.

Judy W. Kiser
 Notary Public

My commission expires 3-31-16



Application to Planning Commission and Board of Supervisors

Application For: (check appropriate boxes)
 Rezoning Rezoning & Special Use Permit Special Use Permit

Owner/Applicant Information: (Use current mailing/contact information for all property owners. An additional sheet may be attached for multiple owners.)

| | |
|------------------------------------------------------------------------------|-------------------------------------------------------------------------|
| Property Owner: <u>MONTGOMERY COUNTY B.O.S.</u> | Agent: <u>BALZER & ASSOCIATES</u> |
| Address: <u>755 ROADDOKE ST. SUITE 2E</u> <u>CHRISTIANSBURG, VA 24073</u> | Address: <u>448 PEPPERS FERRY RD</u> <u>CHRISTIANSBURG, VA 24073</u> |
| Phone 1: <u>540-382-6954</u> | Phone 1: <u>540-381-4290</u> |
| Phone 2: _____ | Phone 2: <u>540-641-0328</u> |
| Email: <u>meadows@montgomerycountyva.gov</u> | Email: <u>ssemoros@balzer.cc</u> |

Location of Property/ Site Address: 4237 PRICES FORK ROAD

Legal Record of Property: Total Area: 3.328 Acres Magisterial District PRICES FORK
Parcel ID: 070688 Tax Parcel Number(s): 052-A 50

Rezoning Details: Current Zoning District: A-1 Requested Zoning District: TND INFILL + RM-1
Desired Use(s): SENIOR HOUSING, MULTI-FAMILY, OFFICE, DAYCARE,
SMALL SCALE RETAIL,

Special Use Permit: Current Zoning District A-1 Total Area/Acres: 3.328
Desired Use(s): SENIOR HOUSING IN THE PROPOSED TND INFILL
DESIGNATION + FARM MARKET IN THE TND INFILL DESIGNATION

Comprehensive Plan Designation: VILLAGE EXPANSION

Traffic Impact Analysis Required: Yes (payment enclosed) No

I certify that the information supplied on this application and on the attachments provided (maps or other information) is accurate and true to the best of my knowledge. In addition, I hereby grant permission to the agents and employees of Montgomery County and State of Virginia to enter the above property for the purposes of processing and reviewing the above application.

| | | | |
|-----------------------------------------------------------------------------------|-----------------------|-----------------------------------------|-----------------------|
| <u>MONTGOMERY COUNTY, VA</u> <u>[Signature]</u> Property Owner(s) Signature | <u>3/3/14</u> Date | <u>[Signature]</u> Agent's Signature | <u>3/3/14</u> Date |
|-----------------------------------------------------------------------------------|-----------------------|-----------------------------------------|-----------------------|

.....
FOR OFFICE USE ONLY
Date Received: _____ Application Number: _____
Traffic Impact Analysis and Payment Received: Yes No Date Submitted to VDOT: _____

Application to Planning Commission and Board of Supervisors

Application For: (check appropriate boxes)
 Rezoning Rezoning & Special Use Permit Special Use Permit

Owner/Applicant Information: (Use current mailing/contact information for all property owners. An additional sheet may be attached for multiple owners.)

| | |
|-----------------------------------------------------------------|-------------------------------------------------------------------------|
| APPLICANT Property Owner: <u>TAYLOR HOLDING MANAGEMENT</u> | Agent: <u>BALZER & ASSOCIATES</u> |
| Address: <u>1905 W. MAIN STREET</u> <u>PADFORD, VA 24141</u> | Address: <u>448 JEFFERS FERRY RD</u> <u>CHRISTIANSBURG, VA 24073</u> |
| Phone 1: <u>540-639-0195</u> | Phone 1: <u>540-381-4290</u> |
| Phone 2: _____ | Phone 2: <u>540-641-0328</u> |
| Email: <u>jeff@taylorholding.com</u> | Email: <u>ssemones@balzer.cc</u> |

Location of Property/ Site Address: 4237 PRICES FORK ROAD

Legal Record of Property: Total Area: 8.328 Acres Magisterial District PRICES FORK
Parcel ID: 070688 Tax Parcel Number(s): 052-A 50

Rezoning Details: Current Zoning District: A-1 Requested Zoning District: TND INFILL + RM-1
Desired Use(s): SENIOR HOUSING, MULTI-FAMILY, OFFICE, DAYCARE, SMALL SCALE RETAIL,

Special Use Permit: Current Zoning District A-1 Total Area/Acres: 3.328
Desired Use(s): SENIOR HOUSING IN THE PROPOSED TND INFILL DESIGNATION & FARM MARKET IN THE TND INFILL DESIGNATION

Comprehensive Plan Designation: VILLAGE EXPANSION

Traffic Impact Analysis Required: Yes (payment enclosed) No

I certify that the information supplied on this application and on the attachments provided (maps or other information) is accurate and true to the best of my knowledge. In addition, I hereby grant permission to the agents and employees of Montgomery County and State of Virginia to enter the above property for the purposes of processing and reviewing the above application.

| | | | |
|----------------------------------------------------------------------------------------------|-----------------------|-----------------------------------------|-----------------------|
| <u>TAYLOR HOLDING MANAGEMENT, LLC</u> <u>James C. Hall</u> Property Owner(s) Signature | <u>8/3/14</u> Date | <u>[Signature]</u> Agent's Signature | <u>8/3/14</u> Date |
|----------------------------------------------------------------------------------------------|-----------------------|-----------------------------------------|-----------------------|

FOR OFFICE USE ONLY

Date Received: _____ Application Number: _____

Traffic Impact Analysis and Payment Received: Yes No Date Submitted to VDOT: _____

**REZONING APPLICATION
FOR
TAYLOR HOLLOW
MANAGEMENT, LLC.
&
MONTGOMERY COUNTY BOARD
OF SUPERVISORS
OLD PRICES FORK ELEMENTARY
SCHOOL REDEVELOPMENT**

**4237 PRICES FORK ROAD
TAX PARCEL #052-A 50**

March 3, 2014

PREPARED FOR: TAYLOR HOLLOW MANAGEMENT, LLC

PREPARED BY: BALZER & ASSOCIATES, INC.

TAYLOR HOLLOW MANAGEMENT, LLC –
OLD PRICES FORK ELEMENTARY SCHOOL REDEVELOPMENT
REZONING PROFFER STATEMENT

Dated: March 3, 2014

Proffer Statement for a requested rezoning application of Tax Parcel #052-A 50 located at 4237 Prices Fork Road.

The owner/applicant hereby voluntarily proffers that this property will be developed in accordance with the following conditions if and only if, approval of the proposed rezoning is granted. These proffers will be included in all future transactions of the property to all owners, their successors and assigns.

We hereby proffer the development of the subject property of this application shall be in strict accordance with the conditions set forth in this submission.

- 1) Property shall be developed in substantial conformance with the conceptual plan by Balzer and Associates, Inc. dated March 3, 2014.
- 2) The site shall be served by Montgomery County PSA sanitary sewer and water. The rezoning of the property does not allocate or reserve water and sewer capacity for the proposed development. Site plan approval for the development shall be conditioned upon adequate water and sewer capacity being available.
- 3) A detailed site plan in conformance with zoning ordinance requirements shall be submitted and approved by the zoning administrator and all other necessary local and state agencies prior to issuance of building permits for this development.
- 4) Stormwater management on the property shall be in accordance with all State and Local stormwater management standards.
- 5) The following uses will be prohibited in the TND Infill district and the RM-1 district: funeral home, cemetery, boarding or transition houses, and park and ride lot.
- 6) If mutually beneficial to the applicant and Montgomery County, the applicant will provide a trail connection to a future trail system provided by Montgomery County on the eastern side of the property.
- 7) The applicant commits to coordinate with Montgomery County and the Virginia Department of Transportation in the future in regards to the dedication of additional right of way or easements to better facilitate pedestrian, bicycle or vehicular travel along the subject property's frontage on Prices Fork Road within the Prices Fork historic village area.

Joseph Fortier

TAYLOR HOLLOW MANAGEMENT, LLC - Applicant

3/3/14

Date

Commonwealth of Virginia
County of Montgomery

The foregoing instrument was acknowledged before me this 3rd day of March 2014 by:

Joseph Fortier of Montgomery County.

Brea G. Hopkins
Notary Public



My commission expires July 31, 2015

F. Craig Meadows

MONTGOMERY COUNTY BOARD OF SUPERVISORS - Applicant

3/3/14

Date

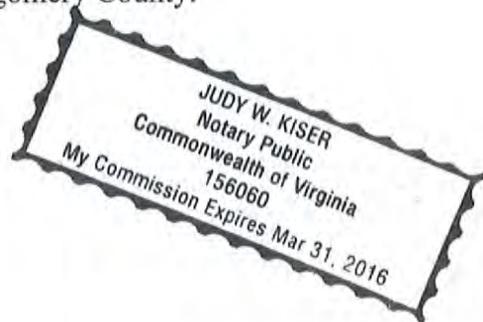
Commonwealth of Virginia
County of Montgomery

The foregoing instrument was acknowledged before me this 3rd day of March 2014 by:

F. Craig Meadows of Montgomery County.

Judy W. Kiser
Notary Public

My commission expires 3-31-2016



OLD PRICES FORK ELEMENTARY SCHOOL REDEVELOPMENT **COMPREHENSIVE PLAN JUSTIFICATION**

The property described in the Rezoning application is currently zoned Agricultural A-1. The parcels requested for rezoning is designated as Tax Map ID# 052-A 50 and Parcel ID# 070688. The parcel is 8.328 acres and is currently owned by the Montgomery County Board of Supervisors. This parcel is the site of the old Prices Fork Elementary School. This school was in service since the early 1950's and was just closed this past year as a new Prices Fork Elementary School was constructed approximately 0.15 miles east of the subject parcel. The rezoning proposes two new zoning designations for the existing property currently zoned A-1. The proposal calls for approximately 3.328 acres to be rezoned to TND Infill Traditional Neighborhood Development Infill and approximately 5.00 acres to be rezoned to RM-1 Multiple-Family Residential. The proposal also requests a Special Use Permit for Multi-family Senior Housing and a Farm Market in the TND Infill designations. These two uses are very compatible with the Prices Fork Comprehensive Plan section and should be well received in the area.

The requested zoning change to TND Infill Traditional Neighborhood Development Infill and RM-1 Multiple-Family Residential would allow for a future land use that is in keeping with the Montgomery County Comprehensive Plan and the Prices Fork Village Plan which designates this area as Village Expansion. According to the Comprehensive Plan, "Village Expansion areas are intended to provide an alternative to scattered rural residential development and to provide an opportunity to enhance the vitality of existing villages by providing for compatible expansions of residential and employment uses." These areas may contain a variety of residential housing types as well as appropriately scaled commercial uses that mainly cater to the local residents within the village area. They are also areas that typically have public water and sewer available to them or can access these utilities through redevelopment.

The project proposes a mix of residential and commercial uses. The residential uses proposed are senior apartment housing and market rate multi-family housing. Along with these housing types, the applicant is proposing that eight of the twenty-two overall units planned in Phase I will be designated as affordable housing. Two of the eight units will be required to meet income requirements of 50% of AMI and the remaining six units will be required to meet income requirements of 80% of AMI. The commercial uses could allow for a number of small scale, community based businesses. One particular use proposed is a daycare facility at the rear of the existing school building. This is one use that was specifically designated as a potential need in the Prices Fork Village Plan. Other commercial uses could be offices, community medical office, small scale retail stores or even a community based restaurant. While the uses discussed and anticipated are conceptual at this point, they demonstrate what the applicant believes to be a maximum build-out density. This allows us to be more conservative in our projections for water and sewer usages and traffic/road planning. The detailed assumptions made for these infrastructure improvements are detailed in the Traffic Impact Analysis and the Water and Sewer Service section of this application. We believe these uses best fit the vision for the property as expressed in the Prices Fork Village Plan.

The elements that directly conform to the issues stated in the **Montgomery County 2025 Comprehensive Plan** are the following:

- 1) **PLU 1.6** – The development is located within an area designated Village Expansion.
- 2) **PLU 1.6.4.b** – The development will have a range of housing types.
- 3) **PLU 1.6.4.d.** – The development will preserve the old elementary school.
- 4) **PLU 1.6.5a & PLU 1.7.5a,e** – The development will have public utilities and will provide stormwater management for any new development.
- 5) **PLU 1.7.3.a** – The small scale commercial uses will be appropriate for the village.
- 6) **PLU 1.7.4.c** – Within the mix of housing types, senior housing is included which allows for aging in place.
- 7) **PLU 2.1a** – The development is located within an area designated Village Expansion.
- 8) **PLU 2.1b** – The development will be served by public water and sewer.
- 9) **PLU 2.1.f** – The development will provide safe pedestrian walkways to land uses.
- 10) **PLU 2.1.d, f** – The development will have open space, and pedestrian access.
- 11) **PLU 2.1.g** – The development will have buffers along all uses with lower intensities.
- 12) **PLU 3.1.1a.iv** – The development will have a playground located at the center of the development.
- 13) **PLU 3.1.1a.v** – The new Prices Fork Elementary school is within walking distance from the development.
- 14) **PLU 3.1.1c.i, ii, iii** – The development will provide a mix of uses including senior housing, multi-family housing and small, local commercial uses such as a daycare and possible office and retail use to service the residents and Prices Fork Village area.
- 15) **CRS 1.1.3** – The culturally historic Prices Fork Elementary School is being preserved and redeveloped.
- 16) **ENV 1.5** – The development will utilize BMP's to protect water quality.
- 17) **ENV 3.2.4** – The development will minimize any negative effect on water quality.
- 18) **ENV 5.6** – The development will provide for stormwater management and is located in an area where public water and sewer service exists.
- 19) **ENV 6.5** – The proposed development will maintain existing drainage patterns for stormwater management.
- 20) **ENV 7.0** – The proposed development will maintain water quality and protect downstream properties with stormwater management techniques.
- 21) **HSG 1.3.1** – The TND portion of the development does provide mixed uses within the overall plan.
- 22) **PRC 2.1.4** Open spaces and playground areas will be provided in the development to serve the residents.
- 23) **PRC 2.3** - If mutually beneficial to the applicant and Montgomery County, the applicant will provide a trail connection to a future trail system provided by Montgomery County on the eastern side of the property.
- 24) **UTL 4.1.2** – The project could allow for regional stormwater management facility with coordination with Montgomery County.

The elements that directly conform to the issues stated in the Montgomery County 2025 Comprehensive Plan for the **Prices Fork Village Area** are the following:

PFV 1.1.2 Compatibility is Fundamental. *The density, type and character of new development must be compatible with the existing village, the vision of the village's future, and be generally consistent with the Land Use Plan Map. New development must be compatible with the traditional forms and architectural character of the village.*

The proposed project will renovate the existing school building which was recommended by the Village Plan to stay intact. This retains the existing character of the village.

PFV 1.1.4 A Variety of Housing Types Should be Built. *The County will encourage a variety of housing types, costs and net densities, in order to provide high quality housing for a range of ages and income levels. Most housing will be single-family detached units, but may include accessory units, small single-family detached dwellings, and apartments on the second floor levels of employment or civic buildings, and housing for elderly citizens.*

Senior housing and multi-family development is proposed with the project.

PFV 1.1.6 Proffers Are Expected to Mitigate Impacts. *Any rezoning to a higher intensity of land use, particularly residential land uses, will be expected to provide proffers of land, infrastructure and/or funding to off set the impacts of the development, particularly on capital facilities such as roads, parks, schools and public safety.*

The proposed proffers will help mitigate impacts and concerns.

PFV 1.1.7 Incorporate Universal Design Features. *A portion of dwelling units within any given residential project should feature "universal design" in order to provide for all age groups and to allow people to "age in place" within the village.*

The senior apartments will have universal design features and will allow people to age in place.

PFV 1.2.2 Streetscape Features. *Streetscape improvements should include all-weather walking paths, street trees and parking behind buildings.*

Additional landscaping will be included along Prices Fork Road and all new parking areas shall be behind the existing building.

PFV 1.3.4 Streetscape Features on Minor Streets. *Streetscape improvements should include walking paths, street trees and parking behind buildings.*

Additional landscaping will be included along Prices Fork Road and all new parking areas shall be behind the existing building.

PFV 1.3.5 Street and Walking Connections. *New development should provide street and pedestrian path connections within the site and to adjacent properties, including "stub" connections to the property line of sites that are planned but not yet rezoned or developed.*

The property will have sidewalks connecting all onsite uses and parking areas. Future trail or sidewalk connections to adjacent properties will be determined during the site plan process and will be installed if mutually beneficial to the applicant and Montgomery County.

PFV 1.3.6 New Local Commercial Uses. *New commercial uses in the Prices Fork area should be aimed primarily at providing goods and services to local residents.*

The proposed commercial uses will primarily serve the local residents.

PFV 1.4.2 Maintain the Historic Settlement Pattern of the Village. *This Plan strongly encourages new development to follow the historic pattern of development in Princes Fork, including small-scale, compact development, and maintaining a variety of building setbacks, entry configurations and parking arrangements.*

The proposed development will concentrate new buildings and parking behind the existing school which will help preserve the current historic pattern of the village. New structures in Phase II and Phase III will also strive to meet those same patterns in their placement and architectural treatment.

PFV 1.4.4 Encourage Infill Development. *Most of future growth in the historic neighborhood area should be infill and redevelopment of existing sites. Ensure that new infill development is compatible with the existing rural, historic character of the architectural fabric and siting of structures, especially along Princes Fork Road. Such development should be a small-scale mix of shop fronts and civic buildings interspersed with residential properties.*

The project is using the TND Infill zoning guidelines for a portion of the redevelopment which will incorporate the infill development plans and regulations.

PFV 1.4.5 Encourage Mixed-Uses. *Land uses along Princes Fork Road in the Historic Neighborhood Area should be a mix of residential, commercial, office and institutional uses. Limit new commercial and employment uses to small-scale, individual or stand-alone buildings with small building footprints that are architecturally compatible with the existing commercial and institutional uses. Auto-oriented and higher volume retail uses should not locate in this area; those should instead be in the designated eastern neighborhood.*

The commercial uses proposed in the old school building are small scale and will be compatible with the community and serve its citizens. No high intensity, auto-oriented uses are proposed for the site.

PFV 1.4.6 Encourage Live/Work Units. *Encourage “live/work” units, which feature a shop or small-scale office use on the ground floor and a residential dwelling above or behind the shop, not more than two stories above the street.*

While the development will not include the typical over/under live/work type units, it will have small scale commercial uses that residents in the senior housing or the future multi-family phase could work at.

PFV 1.4.7 Minimize the Impacts of Road Improvements. *Evaluate and minimize the impact on historic structures from any publicly or privately funded road or streetscape improvements within the planning area.*

No road improvements are currently being proposed with this development.

PFV 1.4.8 Design Details. *The County and the Princes Fork community will strive to maintain the rural, informal character of the historic village neighborhood area by:*

(a) Preserving of the “context” of historic structures, as well as the structures themselves, including their natural settings, contributing outbuildings, fences, hedgerows and other elements of the natural and historic landscape that enhance and frame the historic structure.

The redevelopment of the school building would preserve the historic context of the site. It is also the intent of the developer to maintain the existing parking areas and landscaping currently located between the building and Princes Fork Road.

(b) Locating new or expanded parking areas behind or to the side of the buildings; screening parking from adjacent uses with landscape buffers and using alley access where feasible.

While the existing parking in front of the school building will continue to be used, any new parking areas will be located behind the building and be screened per county requirements.

(c) Providing a strong pedestrian orientation along the street frontage, with parking located mainly at the rear of the buildings

There will be pedestrian access throughout the site and the new larger parking areas will be located behind the building.

(d) Prohibiting auto-oriented functions like drive through windows

No drive through establishments are proposed for this project.

(e) Encouraging new buildings to generally match the setbacks of adjacent buildings while also maintaining a variety of setbacks and orientations.

All new buildings will be located behind the existing school building.

(f) Orient building fronts toward main streets, and service backs of buildings through alleyways, wherever feasible.

All future buildings will be behind the existing school building.

(h) Establishing an all-weather path system through the historic neighborhood area, along but not on - the major streets and connecting commercial and institutional sites to each other.

If mutually beneficial to the applicant and Montgomery County, the applicant will provide a trail connection to a future trail system provided by Montgomery County on the eastern side of the property.

(i) Encouraging adaptive reuse of historic structures.

The old school building is being renovated as part of this project.

PFV 1.5.1 Preserve Views. *Except in the Historic Core, as development occurs along the corridor, site new buildings away from the existing roadway so that they are at a low enough elevation to preserve the views of the surrounding farms, forests and mountains.*

New buildings proposed in Phase II and Phase III will be behind the existing front building line and will be located away from Prices Fork Road.

PFV 1.5.2 Avoid Reverse-Frontage Development. *New development adjacent to Prices Fork Road should front a new parallel street so that the fronts of new buildings (rather than the rear) face toward Prices Fork Road.*

While the existing parking in front of the school building will continue to be used, any new parking areas will be located behind the building.

PFV 1.5.3 Manage Access. *Develop and implement an access management plan along Prices Fork Road to limit the number of access points on the road, consistent with the land use and design policies for this corridor.*

No additional entrances are proposed with this development. The main entrance to the project would be the existing eastern most entrance. The western entrance is proposed to stay in place to help with through traffic and avoid creating a dead end parking lot which would likely be used mostly by senior residents.

PFV 1.5.4 Encourage Connectivity. Encourage interparcel connections between all sites along Prices Fork Road for both vehicles and pedestrians, including making new connections to existing neighborhoods that need better and safer access, such as Montgomery Farms.

Potential future connections could occur through the subject parcel. However, no new public roads are proposed with this development so any connections would have to be private ingress/egress easements negotiated between the applicant and any future adjacent property developers.

PFV 3.3 Encourage Adaptive Re-Use of Historic Structures.

Encourage the adaptive re-use and rehabilitation of historic structures throughout the Prices Fork area.

The redevelopment of the school building would be an example of adaptive reuse.

PFV 4.1 New Local Commercial Uses. New commercial uses in the Prices Fork area should be aimed primarily at providing goods and services to local residents.

The proposed commercial uses will primarily serve the local residents.

PFV 4.1.1 Location. Commercial uses should be located only at the key points in the eastern neighborhood on Merrimac Road as shown on the Land Use Plan Map (as well as a small amount of commercial infill development within the designated historic area). Such uses should be small scale and compatible with the historic nature of the village.

The commercial uses proposed in the old school building are small scale and will be compatible with the community and serve its citizens.

PFV 4.1.2 Size. Commercial uses are not planned to be a major part of the land use mix in Prices Fork. Rather, a small amount of local retail and personal service businesses are expected, along with significant numbers of home occupations. In the eastern neighborhood retail uses and carefully integrated auto-related uses may be allowed. In the historic area, only small scale, "mom & pop" style stores are appropriate.

The commercial uses proposed in the old school building are small scale and will be compatible with the community and serve its citizens.

PFV 4.1.3 Major Commercial and Industrial Uses. This plan discourages major commercial or industrial uses such as shopping centers, big-box stores or industrial parks.

These types of uses are not proposed with this project.

PFV 4.1.5 Parking. Parking should be located to the side or to the rear of commercial uses. Access points onto existing roads should be coordinated with adjacent properties in order to keep the number to a minimum.

Additional parking areas will be relocated to the side or rear of the school building and no additional entrances are proposed.

PFV 4.1.6 Signage. Signage should be small scale, traditional and in keeping with the rural nature of the village.

Project signage will meet this standard as regulated by the zoning ordinance.

PFV 4.1.7 Landscaping. Landscaping should include street trees and vegetative buffers at the rear of commercial sites and along any edge contiguous with residential uses.

Landscaping will be provided per county ordinance or as agreed to with the planning staff.

PFV 5.1 Retain the Elementary School in the Historic Neighborhood Area. *The County will make every effort to keep the existing elementary school on its current site.*

(c) If the current site cannot be made suitable for continuing as an elementary school, the policy of this plan is that it be converted to a civic use that reinforces the identity and function of the historic area, such as a community center and/or museum of local history or compatible private uses such as a gym, trade school, day care center, or elderly housing. (Note that elderly housing or an assisted living facility would be an exception to the general guideline of one dwelling per acre; however, the school is an existing structure and further, the impacts of an elderly housing facility would be generally far less than higher density conventional housing).

The adaptive reuse of the school for senior housing and community commercial uses meets this standard.

PFV 6.3 Encourage Pervious Paving Materials. *The County will encourage the use of pervious paving materials for parking lots and driveways where feasible to maintain groundwater and surface water quality, and to reduce sheet flows from paved areas.*

The applicant will investigate the potential of using pervious paving materials during the site plan process. The eventual determination will be based on further stormwater study, other proposed stormwater management strategies and construction cost. Phase I also demonstrates the use of existing pavement for parking areas, thus minimizing additional impervious areas during this initial phase of development.

PFV 6.4 Discourage Development on Steep Slopes. *The County will discourage development on slopes over 15% and encourage these areas to be maintained as open space to minimize erosion, downstream flooding and pollution.*

The project area for redevelopment is under a 10% slope.

PFV 6.5 Manage Development on Moderate Slopes. *The County should ensure that new development on slopes between 10% and 15% incorporates retaining walls, erosion resistant plantings and careful site planning in order to minimize land disturbance and erosion potential in these areas.*

The project area for redevelopment is under a 10% slope.

PFV 6.6 Promote Regional Stormwater Management. *The County will create guidelines and regulations for coordinating stormwater management facilities on a regional and sub-regional basis rather than site by site.*

Any redevelopment of the RM-1 portion of the property will require stormwater management. At the time of redevelopment and site plan preparation, the applicant will engage the County on options, either onsite or offsite, that may mutually benefit the applicant and the Village in regards to regional stormwater management.

PFV 9.1 Greenway Park and Trail System. *Support the development a county-wide greenway park and trail system master plan.*

The applicant will support county's greenway park and trail system. If mutually beneficial to the applicant and the county, the applicant will provide a trail connection in the future to connect to proposed future trail system on the east side of the subject property.

PFV 9.2 Pocket and Neighborhood Parks and Green Spaces. Encourage developers to provide pocket and neighborhood parks and green spaces in their development designs. Open space and parks will provided to serve the residents of the development.

PFV 10.6 Manage Access. Limit new access points on the major through-roads designated in this Plan.

No new entrances are planned with this development.

PFV 10.7 Construct Roads in Conjunction with Rezoning Approvals. Require development applicants to dedicate right-of-way and build their portion of new roads, in conjunction with receiving zoning approvals for higher densities.

The project will construct any road improvements required per the results of the traffic study performed for this project.

PFV 10.9 Pursue Public Transit. The County will pursue opportunities for public transit, such as a trolley or bus system service to key points within Prices Fork.

The developer would be in favor of the County bringing public transit opportunities to the Village. This service would be very helpful for the senior residents of the property.

PVF 11.1 Extent Public Water and Sewer Service. The County will provide and manage public water and sewer service for Prices Fork. The County will require that new development connect to these systems and will prohibit new private wells and septic systems.

The project will connect to public water and sewer.

PFV 11.2 Limit of Public Water and Sewer Expansion. The County will limit water and sewer service to the designated Service Area set forth in this Plan. Providing public utility service only to the designated area will ensure that new development is compatible with the villages historic character, is affordable for the County to serve, and enhances rather than degrades the quality of life for local residents.

Public water and sewer is currently existing onsite and previously served the school.

PFV 11.3 Treatment Capacity. The County will monitor available treatment capacity. The County will approve rezonings to higher intensity uses only in conjunction with assurances that adequate water and wastewater treatment capacity will be available. Treatment capacity will be expanded in accord with the County's long-range capital improvement plans. Public utility capacity will be planned to accommodate the orderly growth in the area, in accord with the County's overall Comprehensive Plan, rather than to create or "drive" that growth.

The County has provided a water and sewer availability letter for this rezoning. Additional projected flow information is included below.

PFV 11.5 Underground & Buried Utilities. Require developers to place utilities underground in all new developments.

New utilities resulting from the redevelopment of this site will be installed underground.

Water & Sewer Service

The proposed rezoning area is on the south side of Prices Fork Road. Currently the site does have public water and public sewer service located adjacent to or on the parcel boundaries.

Water and sewer service were previously provided to the property when it operated as the Elementary School. The main connection to the Montgomery County Public Service Authority (PSA) operated water line is located in Prices Fork Road. This waterline is a 12" line. Any main waterline extension into the property to serve the development will be required to be an 8" waterline. All calculations to insure adequate fire flow for hydrants and future sprinkler systems will be designed by a professional engineer and submitted to the County for approval at the time of site plan and building plan approval. Gravity sanitary sewer service is currently located on the property. An 8" sewer line and manhole are located on the east side of the property and cross offsite approximately midway down that eastern boundary line. Any future development of the property would be required to tie into this 8" sewer line. Any required mainline extensions would be required to be 8" lines as well.

Based on Virginia Department of Health Standards, an average daily flow is estimated as follows for the proposed uses:

PHASE I:

SENIOR APARTMENT USE

Multi-family Residential: Maximum of 22 units and 30 bedrooms

Design Assumptions and Calculations:

1. Assume 30 bedrooms based on unit breakdown
2. Assume 2 persons per bedroom based on 12VAC5-610-670 Table 5.1
3. Water and Sewer usage for residential use is 75 gal/day per person = 4,500 gallons per day

DAYCARE USE

Daycare Use: Maximum of 100 children and 10 employees

Design Assumptions and Calculations:

1. Assume 100 children and 10 employees
2. VDH does not have a daycare use shown in their flow estimates. An estimate for daycare use was found in the Minnesota wastewater flows and was used in the calculation below.
3. Water and Sewer usage for daycare use with meals is 23 gal/day per child = 2,300 gallons per day

RETAIL/OFFICE

Various Allowable Uses: Maximum of 4,888 square feet of usable area

Design Assumptions and Calculations:

1. As a final use has not been determined, calculations are based on highest flows potential users – medical office.
2. Water and Sewer usage for medical office use is 500 gal/day per 1,000 s.f. of building area = 2,444 gallons per day

PHASE II:

APARTMENT USE

Multi-family Residential: Maximum of 60 units

Design Assumptions and Calculations:

1. Assume 180 bedrooms based on 3 bedrooms per unit
2. Assume 2 persons per bedroom based on 12VAC5-610-670 Table 5.1
3. Water and Sewer usage for residential use is 75 gal/day per person = 27,000 gallons per day

PHASE III:

SENIOR APARTMENT USE

Multi-family Residential: Maximum of 14 units and 28 bedrooms

Design Assumptions and Calculations:

1. Assume 28 bedrooms based on 2 bedrooms per unit
2. Assume 2 persons per bedroom based on 12VAC5-610-670 Table 5.1
3. Water and Sewer usage for residential use is 75 gal/day per person = 4,200 gallons per day

TOTAL ESTIMATED WATER/SEWER USAGE BY PROPOSED DEVELOPMENT = 40,444 gallons per day

The subject property is identified in the Montgomery County Comprehensive Plan as Village Expansion. The Comprehensive Plan identifies the Prices Fork Village area as an area which has public utilities available to them and that new development in this area will connect to the those utilities (PFV 11.1). An Availability Letter for this property was provided to the applicant by the Montgomery County Public Service Authority on February 3, 2014.

Applicant will construct or cause to be constructed at no expense to the County all water/sewer mains and appurtenances on the Property and will connect the water/sewer mains to publicly owned water/sewer mains. All water mains and sewer mains will be constructed to the standards of the County, will comply with the regulations and standards of the County and will comply with the regulations and standards of all other applicable regulatory authorities. All water mains and appurtenances and sewer mains will be dedicated to public use.

Roads

The proposed development conceptual plan indicates that there will be two entrances /access points into the property. Both will be off of Prices Fork Road and are in the same location as the two existing entrances that have been used for years by the school. These entrances will have their radii adjusted to meet current VDOT standards. It is critical that these two entrances remain to keep the efficient flow of traffic and eliminate the possibility of a dead end parking lot along the front of the property. The property will be redeveloped as a private

development and will not be providing any new public roads. Interconnectivity may occur in the future depending upon the redevelopment of other adjacent properties. The applicant understands the importance to the historic village concept of interconnectivity and the benefits it brings from a traffic flow standpoint. A preliminary analysis of the traffic conditions of Prices Fork Road was done with this project. From review of previously submitted traffic data and current analysis, it appears there are sections of Prices Fork Road that could require improvements based on current operating conditions. It is apparent that based on the existing traffic volumes on east and west bound Prices Fork Road in the am and pm peak hours that right and left turn lanes at several existing intersections could be warranted based solely on current conditions. It also appears that any redevelopment of the subject property could warrant a left turn lane because of these existing traffic volumes.

However, the Prices Fork Village Plan is very clear and direct on minimizing road improvements and their impacts on the existing properties. It also states the desire to keep traffic moving slowly through the historic village section. Any turn lanes installed along this section of Prices Fork would go against those planning concerns and instead speed traffic up. Because of the overall planning efforts that developed the Prices Fork Village Plan and the direct policies that resulted from it, we are not recommending any road improvements to Prices Fork Road adjacent to the subject property at this time. We feel any road improvements would conflict with the Village Plan and begin to create a non-pedestrian friendly corridor. The applicant has proffered that in the future he will work with Montgomery County and VDOT at the time of any long term road improvement planning. This would include the potential dedication of additional right of way or easements along the subject property's Prices Fork Road frontage. This could be for future pedestrian walkways, bike lanes or vehicular road improvements that would benefit the entire Prices Fork Village Community and not be detrimental to the subject property's development.

Project Phasing

The development of the project is planned to be phased over a number of years. Within the TND Infill designation, a total of 36 apartment units will be allowed. Phase I will consist of the redevelopment of the old school building. This redevelopment will include approximately 22 senior apartment units, a potential 4,900 square foot daycare and a 4,888 square foot mix of retail and office uses yet to be determined. This phase will utilize the existing school building and parking lots to meet the county's development standards. Phase II will include the redevelopment of the remaining 5.00 acres designated RM-1 at the south end of the property where the existing track and field are. This phase will include the construction of multi-family development that may include up to 60 apartment units. This phase would also include the necessary parking, water, sewer and stormwater management improvements to accommodate this development. These requirements would be shown on the site plan for the development prior to construction. Phase III will be addition of more senior apartments in the area of Phase I in the TND Infill area. This would include a new wing on the existing building as shown on the concept plan. The exact number of units within Phase III will be determined by the final total of units developed in Phase I, as the total number of units may not exceed 36. As with Phase II, any new zoning, utility and infrastructure requirements would be added with this phase as determined during the site plan process. While the exact timing of the development of these phases is unknown at this point, it is assumed that market conditions in the housing industry will dictate the rate of full buildout.

Homeowner's Association

A Homeowner's Association or a management association will be formed and be responsible for the maintenance of the proposed open space and active recreational uses within the RM-1 zoned property. A management company will also oversee the interior and exterior maintenance required for the TND zoned property.

Landscaping/Buffering

Landscaping will be provided as specified in the Montgomery County Zoning Ordinance based on the land use buffer matrix. However, based on existing conditions, the northern and eastern buffers may have less width than the requirements. There are also existing overhead utilities that may limit the location of certain large tree species. The applicant is willing to work with the county planning staff during site plan development to determine the appropriate mitigation strategies in these two areas. The landscaping along the frontage adjacent to Prices Fork Road is shown as a 15' Type 3 Front Buffer as required by the matrix. The eastern and western property lines are shown with a 15' Type 3 Side Buffer and the southern property line is shown with a 25' Type 3 Rear Buffer. These buffers should provide adequate screening for the property from adjacent properties and right of ways.

Housing Resources

According to the Prices Fork Village Plan, a variety of housing types are envisioned for the Village area. Some of these housing types are single family detached homes, apartments and housing for the elderly. The project as proposed addresses two of these types. As discussed above, Phase I will be a mix of primarily senior housing and some commercial uses. By rehabilitating the existing school building, these senior apartments will allow for single level living and provide flexibility for efficient and accessible units. Phase III will provide additional senior housing based on the needs and demand of that housing type in the future. Phase II is proposed as a multi-family development which would also serve a listed housing need and concentrates some additional density in the Village area where public utilities are currently available.

Water Quality & Stormwater Management Standards

The overall property currently drains naturally to three separate drainage basins. A small 0.58 acre area of the site drains to the north toward Prices Fork Road. Although some site changes may be made within this area, the overall pervious area should increase so no stormwater management should be necessary. A second drainage area of approximately 1.54 acres drains to the east side of the site toward the Johnson property. This drainage area leads to a tributary of Walls Branch, which then drains to Stroubles Creek. With Phase I of the development, no additional impervious area is planned. However, during the development of Phase II some stormwater management in this drainage basin may be necessary due to the potential increase of impervious area. The third drainage area is approximately 6.21 acres and drains toward the west property line. This drainage area currently sheet flows offsite into an unnamed tributary which appears to drain directly to the New River. As development occurs in Phase II and Phase III of the project, stormwater management will be required to control the increased water flows as they move offsite. These stormwater management facilities would be sized to accommodate the additional stormwater runoff created by the

increased impervious areas of the development. The stormwater management facilities would reduce the amount of post development runoff as well as treating the stormwater runoff for water quality purposes. The proposed stormwater management areas will conform to all applicable Department of Environmental Quality regulations dealing with stormwater quantity and quality. At a minimum, the 2-Year and 10 Year post-development runoff rates will be less than or equal to the 2-Year and 10-Year pre-development runoff rates. With these design measures in place there should be no negative impact on the groundwater supply for any adjacent well users.

Public School Impacts

The portions of the proposed project that are senior housing, commercial development and daycare use will have no impact on the public school system. The proposed residential portion of the project in the proposed RM-1 zoning district could allow up to 58 apartment units. Based on the national average of a single dwelling unit adding 0.6 students to the school system, this phase of the project would on average have the potential of increasing the enrollment by 35 total students. Due to the full build-out of this residential portion of the project being scheduled for 2-4 years, the development would likely not create an instant adverse impact on the school system.



**MONTGOMERY COUNTY
PUBLIC SERVICE AUTHORITY**

**Government Center
Suite 21
755 Roanoke Street
Christiansburg, VA 24073-3185**

William H. Brown, Chairman
Christopher A. Tuck, Vice-Chair
Mary W. Biggs, Secretary-Treasurer
Gary D. Creed, Member
Matthew R. Gabriele, Member
M. Todd King, Member
Annette S. Perkins, Member

Robert C. Fronk, PE
PSA Director

February 3, 2014

Mr. Steven M. Semones
Balzer and Associates
Via email: ssemones@balzer.cc

RE: Availability No. 13-46A
Proposed Commercial Development
4237 Prices Fork Road
Tax Map No. 052- A 50
Parcel ID 070688
Water/Sewer

Dear Mr. Semones:

Public water and sanitary sewer may be made available to this to this proposed commercial and residential development at 4237 Prices Fork Road, Tax Map No. 052- A 50. Public water and sanitary sewer were previously provided to this property by a 2" water meter service and credit for this service will be provided towards the proposed development.

Public water service would require a minimum eight-inch water main extension to a point adjacent to all units of this proposed development from the existing twelve-inch water line located along Prices Fork Road adjacent to this property. The hydraulic grade line of the water system is 2284 feet MSL. Domestic water service will require means to reduce the domestic water pressure to 80 psi or less. Facility fees would be charge based upon water meter size for commercial units and at a 5/8" water meter size for each residential unit. Be advised that a separate fire service is billed a monthly rate based upon meter/service line size.

Public sanitary sewer service would require a sewer main extension to a point adjacent to all units of this proposed development from the public sewer manhole near the midpoint of the eastern property line. You must verify that there is a minimum of two feet of fall from the building service elevation to the top of the sewer main. If adequate vertical separation does not exist, you will be required to install an individual sewer pump and force main with a connection to the sewer cleanout per PSA construction standards. For all non-residential facilities, you will be required to complete and submit a non-residential sanitary sewer checklist prior to plan approval and to install a sampling manhole on the sewer lateral. Facility fees would be charge based upon water meter size for commercial units and at a 5/8" water meter size for each residential unit.

The water and sewer facilities must be designed to PSA standards by an engineer and approved by the PSA prior to construction. The owner would be responsible for the cost of the water and sewer line extensions, any necessary water system appurtenances, public easements, highway permits, and any other associated requirements. These designs should be incorporated into the site development plans for this development and submitted to the PSA for review. Payment of twenty-five percent of the water and sewer facility fees for all units of the development would be required prior to approval of the site plan.

Page Two
Mr. Steven M. Semones
February 3, 2014

A selection of water and sewer fees based upon water meter size is provided for your information:

| <u>Water Meter Size</u> | <u>Water Facility Fee</u> | <u>Sewer Facility Fee</u> |
|-----------------------------|-------------------------------|-------------------------------|
| 5/8" | \$ 2,500.00 | \$ 3,000.00 |
| 1" | \$ 6,250.00 | \$ 7,500.00 |
| 1 1/2" | \$ 12,500.00 | \$ 15,000.00 |
| 2" | \$ 20,000.00 | \$ 24,000.00 |
| 3" | \$ 37,500.00 | \$ 45,000.00 |

Please be advised that fire services are billed at a monthly rate according to the size of the service line. The fire service rates are as follows:

2" Meter/Service Line: \$32.00 / month 3" Meter/Service Line: \$60.00 / month
4" Meter/Service Line: \$100.00 / month 6" Meter/Service Line: \$200.00 / month

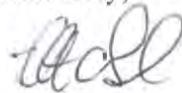
Also be advised that this development must also meet all Montgomery County Planning Department requirements. The availability of water and sanitary sewer facilities does not by itself authorize the development of this property.

If the owner wants to proceed with this service, please have your engineer contact me for details.
This letter and stated fees are only valid to February 1, 2015.

Please be advised that all PSA water and sewer systems have a fixed number of available connections. Connections are reserved by payment of facility and connection fees, provided service is currently available to the subject property.

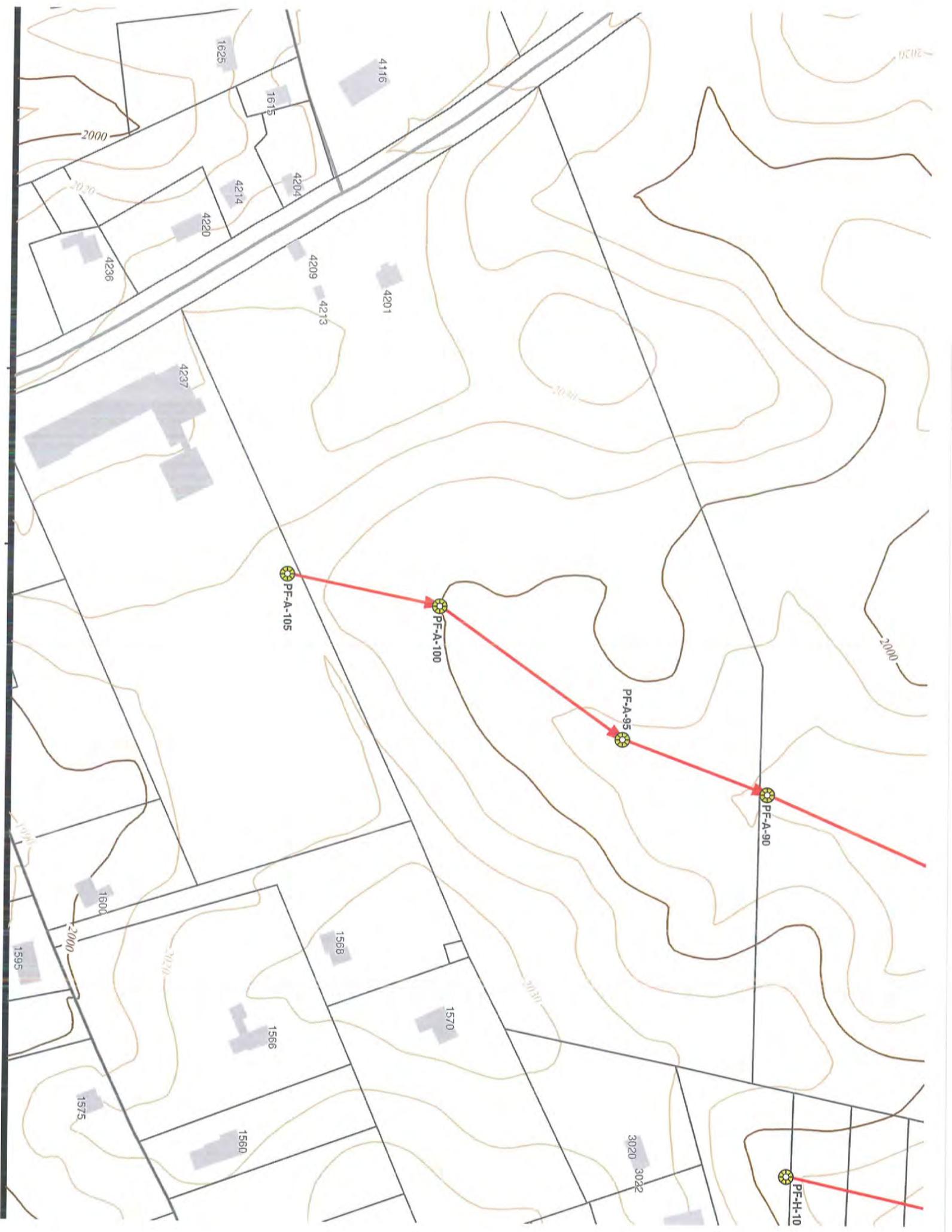
If you should have questions or need additional clarification of the above information, please call me at 381-1997.

Sincerely,



Robert C. Fronk, PE
PSA Director

cc: Montgomery County Planning Dept.



OLD PRICES FORK ELEMENTARY
4237 PRICES FORK ROAD

EXISTING CONDITIONS

PRICES FORK MAGISTERIAL DISTRICT
MONTGOMERY COUNTY, VIRGINIA

DRAWN BY JRT

DESIGNED BY SMS

CHECKED BY SMS

DATE 3/3/14

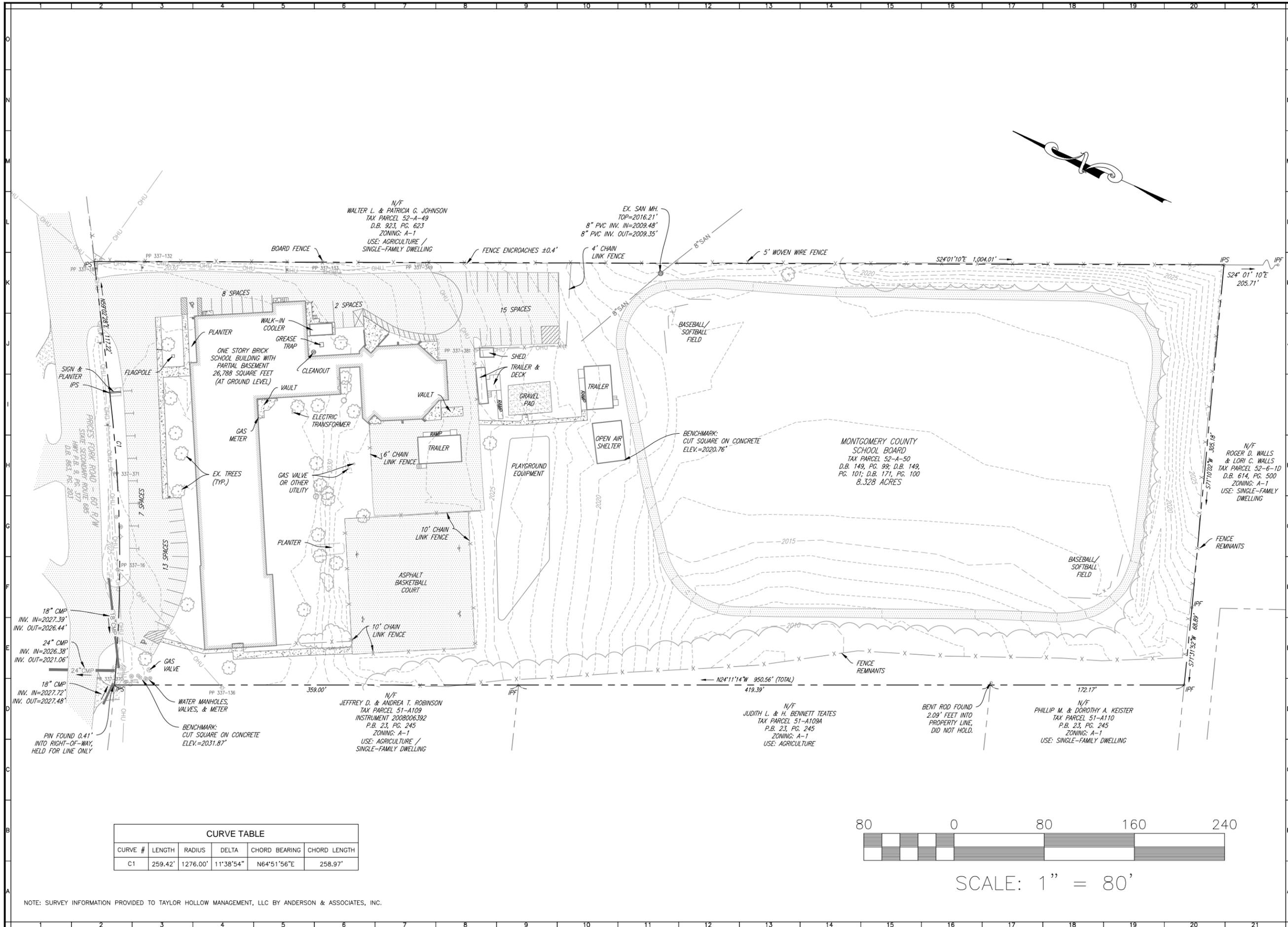
SCALE 1" = 80'

REVISIONS:

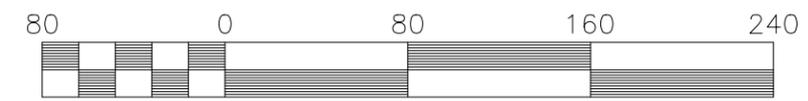
SHEET NO.

1

JOB NO. B1400003.00



| CURVE TABLE | | | | | |
|-------------|---------|----------|-----------|---------------|--------------|
| CURVE # | LENGTH | RADIUS | DELTA | CHORD BEARING | CHORD LENGTH |
| C1 | 259.42' | 1276.00' | 11°38'54" | N64°51'56"E | 258.97' |



SCALE: 1" = 80'

NOTE: SURVEY INFORMATION PROVIDED TO TAYLOR HOLLOW MANAGEMENT, LLC BY ANDERSON & ASSOCIATES, INC.

OLD PRICES FORK ELEMENTARY
4237 PRICES FORK ROAD

MASTER PLAN

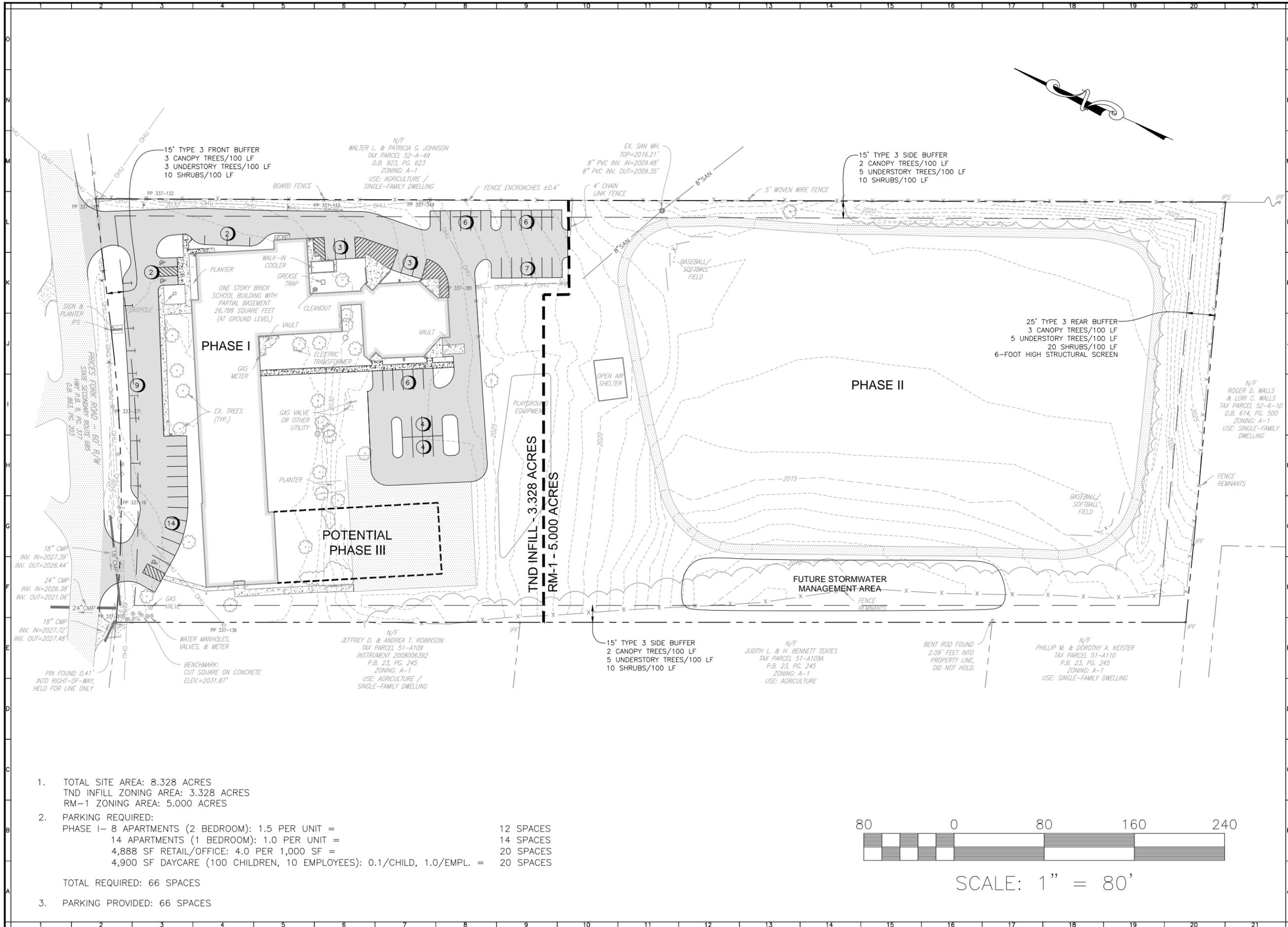
PRICES FORK MAGISTERIAL DISTRICT
MONTGOMERY COUNTY, VIRGINIA

DRAWN BY JRT
DESIGNED BY SMS
CHECKED BY SMS
DATE 3/3/14
SCALE 1" = 80'
REVISIONS:

SHEET NO.

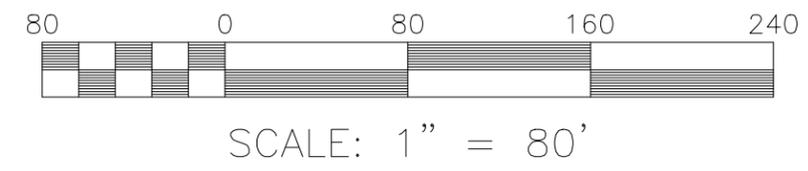
2

JOB NO. B1400003.00



- TOTAL SITE AREA: 8.328 ACRES
TND INFILL ZONING AREA: 3.328 ACRES
RM-1 ZONING AREA: 5.000 ACRES
- PARKING REQUIRED:
PHASE I- 8 APARTMENTS (2 BEDROOM): 1.5 PER UNIT = 12 SPACES
14 APARTMENTS (1 BEDROOM): 1.0 PER UNIT = 14 SPACES
4,888 SF RETAIL/OFFICE: 4.0 PER 1,000 SF = 20 SPACES
4,900 SF DAYCARE (100 CHILDREN, 10 EMPLOYEES): 0.1/CHILD, 1.0/EMPL. = 20 SPACES

TOTAL REQUIRED: 66 SPACES
- PARKING PROVIDED: 66 SPACES



For Immediate Release – March 20, 2014

Contact: Joe Fortier, President, Taylor Hollow Construction

540-639-0195 or 818-1588

joe@taylor-hollow.com

Old Prices Fork Elementary School Developer Selected to Receive National Design Assistance

The national American Architectural Foundation (AAF) announced that eight public-private development teams, including Taylor Hollow Construction, the developer of the old Prices Fork elementary school, will receive leadership training and technical assistance through AAF's Sustainable Cities Design Academy (SCDA).

Project teams compete to attend SCDA, which provides resources, education, and best practice support needed to make environmentally responsible design decisions. SCDA helps the teams formulate action plans for their projects while providing the design leadership training and technical assistance needed to address the specific design challenges that they face. Since establishing SCDA in 2009, AAF has served 42 project teams in cities across the U.S.

Taylor Hollow Construction is exploring a mix of uses for the old school including affordable and market-rate housing designed to support aging in place, and community-serving commercial uses such as a food business incubator, café and farmers market and a day care.

The other seven projects selected by SCDA are located in Bridgeport, CT; Brownsville, TX; Hillsborough, NC; Pittsburgh, PA; Hartford, CT; Kalispell, MT; and West Palm Beach, FL.

Established in 1943, the American Architectural Foundation (AAF) is a national nonprofit organization headquartered in Washington, D.C. AAF works directly with U.S. civic leaders to address the design challenges and opportunities in their cities.



Old Prices Fork Elementary School
Prices Fork, Virginia



Montgomery County
Public Schools

Facilities & Planning Department

March 14, 2014

Ms. Erin Puckett
Senior Program Assistant
Montgomery County Planning & GIS Services
755 Roanoke Street, Suite 2A
Christiansburg, VA 24073

Re: Plan Review – Taylor Hollow Management/Montgomery County Board of Supervisors Rezoning of Former Price's Fork Elementary Property

Dear Ms. Puckett:

Thank you for the opportunity to comment on the referenced rezoning request. The current zoning, Agriculture (A1), would allow 2 dwelling units on the 8+ acre property. I understand from the meeting on March 13, 2014 that the rezoning would allow approximately 96 dwelling units for an additional 94 dwelling units.

Children from homes in this area will attend Price's Fork Elementary School, Blacksburg Middle School and Blacksburg High School. Price's Fork Elementary has a Kindergarten – 5th grade capacity of 632 and a current enrollment of 373. Blacksburg Middle School has a capacity of 1,200 students and a current enrollment of 830. Blacksburg High School has a capacity of 1,400 students and a current enrollment of 1112. Our planning consultant advises us that on average across the country, new family dwelling units have the potential to add .6 children each to the school system. The rezoning could potentially generate 56.4 students, or approximately 4-5 students per grade level.

Additionally, Montgomery County Public School buses do not travel on private roads. Since the road that will serve through to the back of the property will be private, I suggest consideration of a requirement to provide a bus stop shelter at the location on Price's Fork Road where a school bus might pick up children.

Thank you for the opportunity to comment on the rezoning plan review.

Sincerely,

Daniel A. Berenato
Director

cc: Brenda Blackburn
John Staten
Rebecca Mummau



COMMONWEALTH of VIRGINIA

DEPARTMENT OF TRANSPORTATION

PO BOX 3071

SALEM, VA 24153-0560

CHARLES A. KILPATRICK, P.E.
COMMISSIONER

March 19, 2014

Ms. Dari S. Jenkins
Planning & Zoning Administrator
County Of Montgomery
755 Roanoke Street, Suite 2A
Christiansburg, VA 24073

RE: Montgomery County Board of Supervisors and Taylor Hollow Management
Rezoning Application – 3.328 acres A1 to TND-I & 5.00 acres A1 to RM-1
Proposed Land Use – Multi-Family Residential, Residential & Limited Commercial
4237 Prices Fork Road
State Route 685

Dear Ms. Jenkins:

We have reviewed the above mentioned rezoning request and have the following comments:

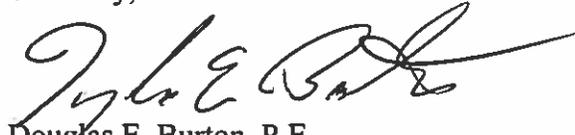
1. The proposed rezoning could result in an increase in the potential traffic generated from the site.
2. The posted speed limit along this two lane section of Prices Fork Road (Route 685) is 35 MPH. The intersection sight distance requirement for a commercial entrance is 390 feet. A site plan submittal will need to include the actual measured sight distances for any proposed entrance based on finished construction conditions.
3. Depending on the trips generated as a result of the proposed use(s), a traffic impact analysis may be required in accordance with VDOT's requirements.
4. Evaluating the need for left and right turn lanes into the site will be required as part of a traffic analysis, site plan submittal, or land use permit application for a commercial entrance.
5. The proposed entrance(s) must meet VDOT's Road Design Manual, Appendix F - Access Management Design Standards for Entrance & Intersections. Based on the concept plan included with the application, the spacing between the two proposed entrances, and the spacing between the western entrance and Route 737, do not appear to meet the minimum spacing requirements and would therefore require an Access management exception request which may require a traffic impact analysis.
6. Please be aware that one of the goals of Access Management is a reduction in the number of intersections and entrances to highways wherever possible. Commercial entrance consolidation is one of the techniques used for reduction.

Ms. Dari Jenkins
March 19, 2014
Page 2 of 2

7. This office is responsible for the review and approval of improvements proposed within the VDOT maintained right of way as part of any site plan, such as changes to existing drainage facilities, pavement markings, etc. Upon approval, a land use permit is required, including a non-refundable permit fee and a surety.

If you have any questions please do not hesitate to call me. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read 'Douglas E. Burton', written in a cursive style.

Douglas E. Burton, P.E.
NRV Area Land Use Engineer

Cc: Ms. Brea Hopkins, Montgomery County
Mr. Joe Fortier, Taylor Hollow
Mr. Steve Semones, L.A., Balzer and Associates, Inc.

**Former Prices Fork Elementary School Rezoning
Community Meeting
Wednesday, April 23, 2014, 7PM
Public Comments**

Approximately 24 people attended a community meeting held on April 23, 2014, at 7:00 PM at the new Prices Fork Elementary School.

Ms. Karen Drake, Planning Director summarized the development review process. Joe Fortier, Taylor Hollow Construction, LLC and Steven Semones, Balzer & Associates discussed their proposed developments. Craig Meadows, Montgomery County Administrator was in attendance since the County still owns the property.

Citizens were then invited to direct comments, questions and concerns regarding the rezoning and redevelopment of the former Prices Fork Elementary School to the applicant and County. These questions and comments are summarized below:

- Is the potential "community kitchen" different from a food pantry or soup kitchen where people line up for free food? While selling local produce could be a good thing, a community kitchen may have some unwanted side effects, particularly if a daycare is also established as part of the project.
- The submitted concept plan is very high level. The plan should provide more detail in order to justify the rezoning, particularly for the Phase II part of the project. Elevation views, VDOT approvals, drainage information, etc., should be provided prior to approval of the rezoning. The second phase rezoning seems premature; would it be possible to put the rezoning request for that back portion of the property on hold for the time being until more detail is provided?
- Would it be possible to rezone the entire property to TND-I instead of split zoning? This may allow some residential units but would also provide the flexibility to allow other uses that the community may find desirable.
- Will the front of the school building be maintained such that it will appear the same as it does today?
- How many housing units are anticipated on the back five acres, and what kind of housing would this be? Would it include low-income housing?
- The Prices Fork Village Plan supports outdoor community space. The back five acres of the property could potentially be used for this purpose, and to completely develop it as housing may not be in conformance with the Village Plan. Preservation of the school property should include both the building and the grounds.
- The proposed residential development may increase traffic on Prices Fork Road. There are already issues with rear end accidents. Should turn lanes be provided for this project?

Ms. Drake invited citizens to attend the Planning Commission and Board of Supervisors' public hearings on May 14th and May 27th to voice additional comments. She also noted that comment sheets were available for comments to be submitted at a later date and provided contact information for planning staff. The meeting ended at approximately 8:45 pm.

Wednesday, April 23, 2014, 7:00 PM

Former Prices Fork Elementary School Rezoning/Redevelopment Community Meeting

Sign In



| <u>Name</u> | <u>Address</u> | <u>Email</u> |
|-----------------|-------------------------------|------------------------------|
| TREVOR KIMZEY | 4214 PRICES FORK RD. | tkimzey@gayandneel.com |
| BENNETT TEATES | 3014 LANCASTER DR. | BENNETT.TEATES@COMCAST.NET |
| JUDY TEATES | 11 | ↓ |
| Phillip KEISTER | 1600 THOMAS LANE | NONE |
| Andrea Robinson | 4261 Prices Fork | asharpe@vt.edu |
| Heather Pettus | 4268 Price's Fork Rd. | hepcat86@yahoo.com |
| Bill PETTUS | 1858 OILWELL RD | bill.pettusv@gmail.com |
| K. Kohn | 1560 Thomas Lane | |
| Jessica Schultz | 401 Hunt Club #39A Blacksburg | schultz.jessica.vt@gmail.com |
| Scott Krall | 2951 Taylor Ln Elliston | kralls@montpelier.com |
| SHAUN RAI | 930 CAMBRIA ST CBG | Srai@vccva.org |

Erin M. Puckett

From: bennett <bennett.teates@comcast.net>
Sent: Tuesday, April 29, 2014 12:03 PM
To: mcplan
Subject: Former Price's Fork Elementary School Rezoning/Redevelopment Comment Form

At the meeting held by the County and Developer for Adjacent Landowners Regarding the Rezoning of the Old Price's Fork Elementary School, Karen Drake handed out forms and requested any comments be sent to the County Planning Staff after the meeting. My comments and suggestions are as presented below.

Sincerely,
Bennett Teates

References:

1. The Meeting Held on 23 April 2014 by the County Staff and Taylor Hollow Management ,LLC. regarding the Rezoning Application for the Old Prices Fork Elementary School and Property. At this meeting, adjacent land owners were asked for their comments, both orally at the meeting and subsequently written, after having heard the County's and Developer 's proposals.
2. The Taylor Hollow Management, LLC Rezoning Application for 4237 Price3s Fork Rd. Tax Parcel #052-A 50.
3. Prices Fork Village Plan (PFVP) , Montgomery County 2015 of 2005

As a land owner of two adjacent properties and as a member of the Northwest Montgomery Village Center Foundation (a non-profit 501 C 3 organization founded to preserve the old school property), I am making the following comments and suggestions.

1. The application for an RM-1 zoning for the back 5 acres at this time is premature. Indeed, any rezoning that has a two-year waiting period and no viewable plan or concept of a potentially high density multifamily development should not be entertained until such a plan exists and can be viewed by the public. The current request is for the rezoning to happen now and then two years later a plan will be put before the Planning Commission for mutual refinement. I believe this approach is fundamentally the wrong way to ask for or be given new zoning.
2. Given that the rezoning of the back 5 acres is not postponed, the application for RM-1 is not appropriate, in any event. RM-1 provides for up to 12 residential, and only residential, units per acre. The Prices Fork Village Plan (PFVP) provides the following stipulations:

PFVP 1.1.1 Overall Gross Density of the Village Planning Area.

The overall density of the village planning area should never exceed two (2) dwellings per gross acre at full build-out (not expected to occur for at least two or three decades).

PFVP 1.4.1 Density for the Historic Village Neighborhood Area.

The overall density of the new residential development should generally not exceed on average, approximately 1.2 dwellings per gross acre in the designated historic area as shown on the Land Use Plan Map. (Net densities at the rear portions of tracts may be higher to balance the lower densities on the front portions of tracts, in order to preserve the rural, historic character of the village.)

Note: Although the PFVP is quiet on the definition of “dwelling”, the implication is a single family dwelling; not multi-family. This inference can be gained from:

PFVP 5.0 Retain the Elementary School in the Historic Neighborhood Area.

..... (Note the elderly housing or an assisted living facility would be an exception to the general guideline of one dwelling per acre; however, the school is an existing structure and further, the impacts of an elderly housing facility would be generally far less than higher density conventional housing.)

PFVP 1.4.4 Encourage Live/Work Units

Encourage “live/work” units which feature a shop or small-scale office use on ground floor and residential dwelling above or behind the shop, not more than two stories above street level.

PFVP 2.5 Encourage a Unified Community

.....
.....

Develop a community center for the village, located within the historic district.

3. The back 5 acres should be included in the application for expansion of the existing historic area. Although the back 5 acres has not been applied for as part of the historic district, to treat it as though it wasn't part of the historic district is illogical, as the entire property (8.3 acres) was and is part of the history of the village, and only because it doesn't have a historic building on it doesn't provide sufficient reason to exclude it from the historic redistricting. (Should only the buildings on the Gettysburg or Manassas battle fields be declared historic and protected; or should the larger and undeveloped area be also included? (Clearly, the latter has always been the case).
4. The RM-1 zoning provides for no flexibility in development whereas a TND-I zoning provides for not just residential, but also, commercial and civic uses. These commercial and civic uses are essential needs of the Northwest part of the County, including Prices Fork and the surrounding named communities (e.g. McCoy, Wake Forest, SunnySide, etc.). Commercial uses could include a doctor's office, a barber shop, a Coffee Café, a gym, as examples; and civic uses could include, a coal miner's museum, an amphitheater, and a Information Technology (IT) hub, as examples. These three mixed uses, taken together, would provide the necessary parts of satisfying the requirement for community unification and a community center.
5. If the back 5 acres must be rezoned at this time, then the zoning should be TND-I to match the TND-I for the front 3+ acres.
6. The plan for the front 3+ acres is for senior housing, a day care center, and a “farmer's market”. The following are comments surrounding these uses:
 1. There is said to be a shortage of housing in Montgomery County. The proposed use of the old school building for senior housing is an appropriate use called out in the PFVP and ought to be, based on Phase 1 and 3 plans, enough of such housing provided by the Prices Fork area. No more housing of a similar nature needs to be developed on the back 5 acres.
 2. The Day Care Center will draw traffic at the same times that traffic on Prices Fork Road is at it “terrible” peak. Has this increase in traffic been adequately considered?
 3. What exactly is the “farmer's market”? How can a rezoning be considered without more definitive explanations of what is to really be expected? Based on a sample of local citizens' stated needs, there has been no expressed need for a farmer's market. A Café –yes!