



Montgomery County, Virginia

BOARD OF ZONING APPEALS APPLICATION

OWNER INFORMATION

USE CURRENT CONTACT INFORMATION FOR ALL PROPERTY OWNERS.
(AN ADDITIONAL SHEET MAY BE ATTACHED FOR MULTIPLE OWNERS)

Name: **LISA STVERAK**
Mailing address: **3641 KNOB FOREST CIRCLE**
City: **ELLISTON** State: **VA** ZIP Code: **24087**
Phone: **540-309-3753** Email: **Lisa@lisa.com**

AGENT INFORMATION

Name:
Corporation:
Mailing address:
City: State: ZIP Code:
Phone: Email: Fax:

APPLICATION DETAILS

Application For: Appeal of Zoning Decision: Variance: Special Use Permit:

Appeal Details:
Date of Decision: Regarding:
Variance Details:
Section of Zoning Ordinance: To Allow:
Special Use Permit (SUP) Details:
Zoning District: **A-1** To Allow: **GARAGE IN EXCESS OF 1,200 SQ. FT. AND/OR 18 FT. IN HEIGHT.**

PROPERTY INFORMATION

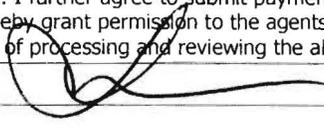
911 Address of Property: **3641 KNOB FOREST CIRCLE, ELLISTON, VA 24087**
Parcel ID #: **130887** Zoning District: **MONTGOMERY CO** Tax Map #:

APPLICATION CHECKLIST

- Letter detailing justification for request (Variance & Appeals) or SUP Additional Requirements
- A scale drawing of the property & proposed project, with location map
- Application Fee
- Ten (10) copies of application & associated materials

SIGNATURES

I certify that the information supplied on this application and on the attachments provided (maps and other information) is accurate and true to the best of my knowledge. I further agree to submit payment to the newspaper for costs associated with the legal advertisement of the above request. In addition, I hereby grant permission to the agents and employees of Montgomery County and the State of Virginia to enter the above property for the purposes of processing and reviewing the above application.

Signature of Owner:  Date: **5/23/16**
Signature of Owner: Date:
Signature of Agent: Date:

OFFICE USE ONLY

Date Received: **6/1/16** Application Number: **SU-2016-14074**

Lisa Stverak
3641 Knob Forest Circle
Elliston, VA 24087
540-309-3753
Email: L1SALou@aol.com

May 25, 2016

Montgomery County VA Board of Zoning Appeals

Subject: Special Use Permit for a Garage Addition

Dear Board Members,

I have submitted my application for a garage addition at the address above. Attached is the required information for this application.

The addition will be above the garage and will be an area for additional storage. My home currently has 2650 sq. ft. and the garage is 1080 sq. ft. The addition will only add height to the existing garage. Please see total height listed on attachment. The materials will be the same matching logs and stains as the home and garage. The new roof will be a metal roof that will be the same color as the one on the house. There will be steps, a door, and a window on the left side of garage as you are facing it. The other end that faces the house will have a large window for extra lighting and will match the windows that are on the house.

I currently have no neighbors close by and I own the lot to the left of my property as you face the house. On the other side, the lot next to me is under contract with Dave Jones for me to purchase.

Thank you for your consideration. If you have any questions, please feel free to contact me.

Regards,



From: **Dale Buckner** dalebuckner@ymail.com
Subject: No Subject
Date: May 25, 2016 at 10:58 AM
To: Lisa Peters l1salou@aol.com



From: Dale Buckner dalebuckner@ymail.com
Subject: No Subject
Date: May 25, 2016 at 10:56 AM
To: Lisa Peters l1salou@aol.com



Sent from my iPhone

36'

3411 KNOB FOREST CIRCLE
EULISTON VA 24087

EXISTING GARAGE
FIRST FLOOR
PLAN VIEW
30' X 36' = 1,080

30'

3'0"

9x7

Door

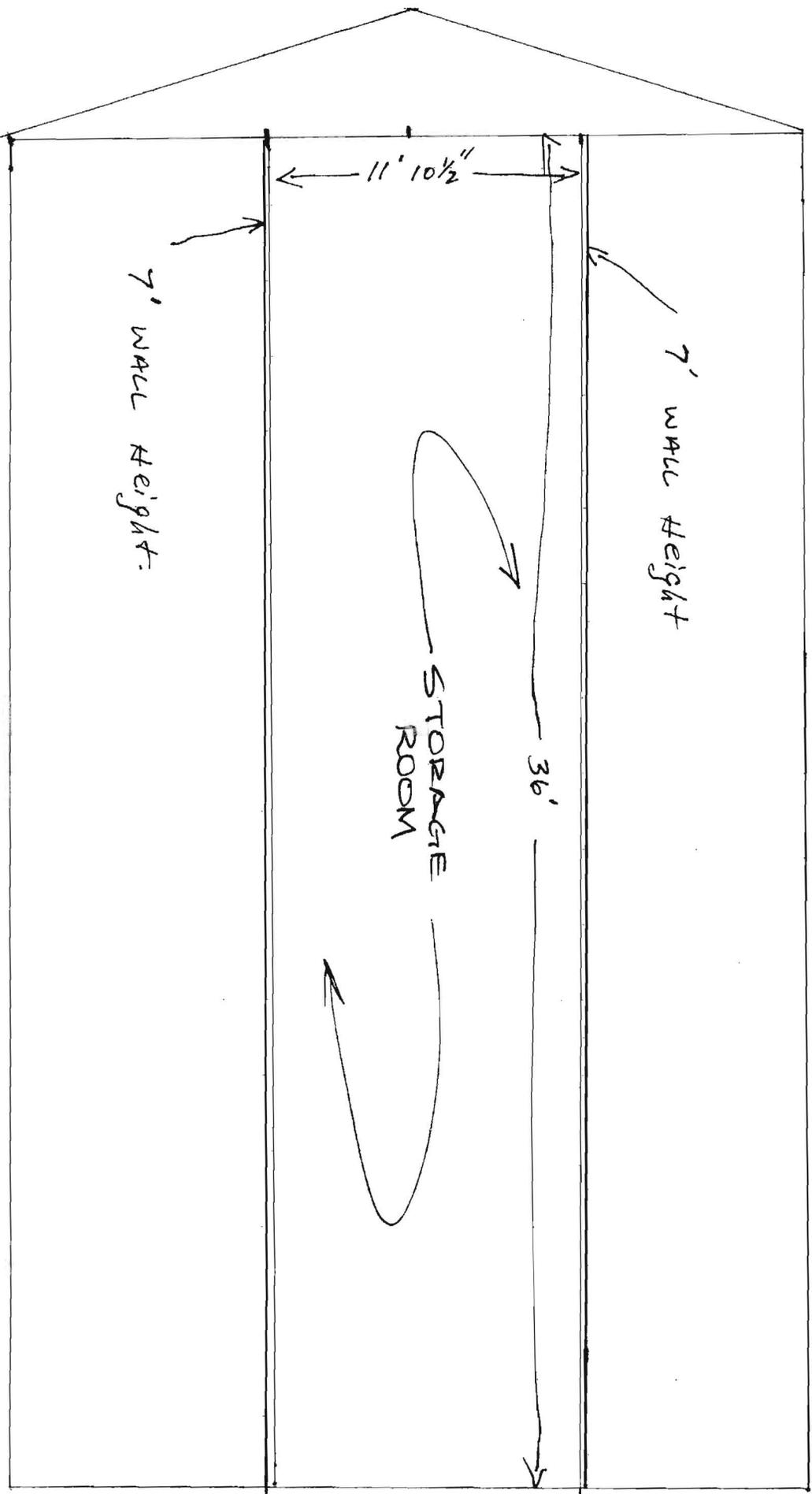
9x7

Door

9x7

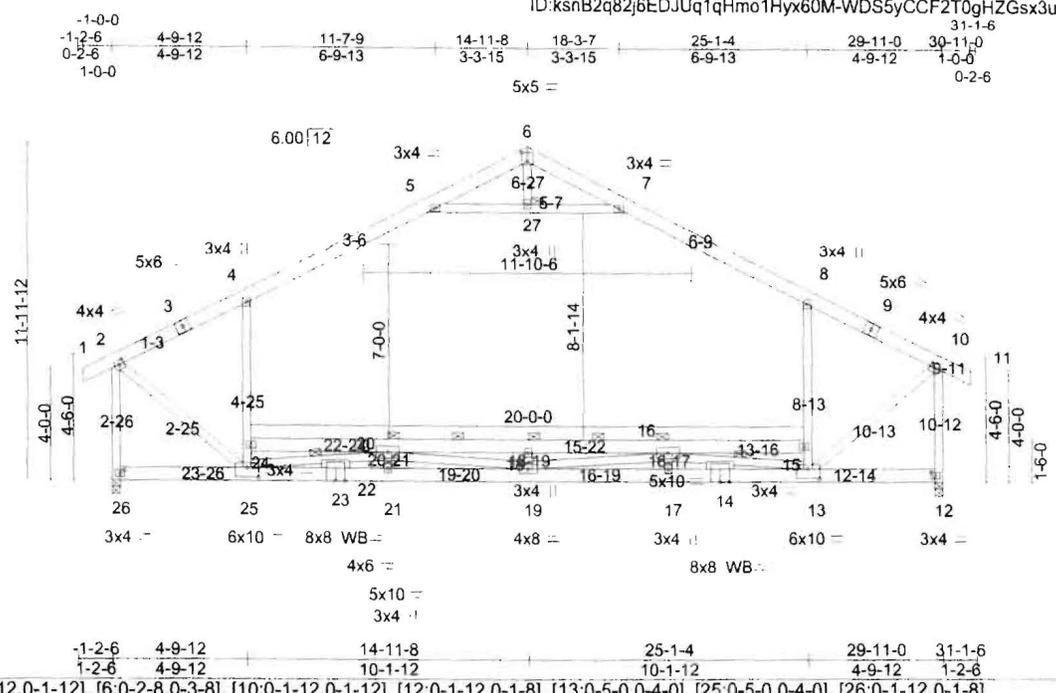
Door

New Roof Truss Area 11'10 1/2" X 36'
428.4 sq Ft.



3641 KNDRS FOREST CIRCLE
2ND FLOOR
PLAN VIEW

TOTAL HEIGHT
WILL BE
22'6"



Scale = 1:82.3

Plate Offsets (X,Y)- [2:0-1-12,0-1-12], [6:0-2-8,0-3-8], [10:0-1-12,0-1-12], [12:0-1-12,0-1-8], [13:0-5-0,0-4-0], [25:0-5-0,0-4-0], [26:0-1-12,0-1-8]

LOADING (psf)	SPACING-	CSJ.	DEFL.	in (loc)	l/defl	L/d	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.86	Vert(LL)	-0.64	18-20	>558	MT20	244/190
TCDL 10.0	Plate Grip DOL 1.15	BC 0.91	Vert(TL)	-1.10	18-20	>323		
BCLL 0.0	Lumber DOL 1.15	WB 0.68	Horz(TL)	0.10	12	n/a		
BCDL 10.0	Rep Stress Incr NO	(Matrix-S)	Attic	-0.46	15-24	527		
	Code IRC2009/TPI2007					360	Weight: 294 lb	FT = 5%

LUMBER-	BRACING-
TOP CHORD 2x6 SP DSS *Except* 1-3,9-11: 2x6 SP No.1	TOP CHORD Structural wood sheathing directly applied, except end verticals.
BOT CHORD 2x6 SP DSS *Except* 22-24,15-22: 2x6 SP No.1	BOT CHORD Rigid ceiling directly applied. Except: 2-9-0 oc bracing: 18-20, 16-18 6-0-0 oc bracing: 20-24, 15-16
WEBS 2x4 SP No.2	WEBS 1 Row at midpt 13-16, 20-25 1 Brace at Jt(s): 18, 20, 16, 27
OTHERS 2x4 SP No.2	JOINTS

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS. (lb/size) 26=2424/0-3-8 (min. 0-1-8), 12=2424/0-3-8 (min. 0-1-8)
 Max Horz 26=-390(LC 7)
 Max Uplift 26=-424(LC 9), 12=-424(LC 10)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 2-3=-1826/337, 3-4=-1714/347, 4-5=-1667/570, 5-6=0/462, 6-7=0/462, 7-8=-1667/571,
 8-9=-1714/348, 9-10=-1826/338, 2-26=-2471/380, 10-12=-2471/382
BOT CHORD 25-26=-330/353, 23-25=0/5309, 21-23=0/5309, 19-21=0/5309, 17-19=0/5309, 14-17=0/5309,
 13-14=0/5309, 18-20=-5299/0, 16-18=-5299/0
WEBS 5-27=-1801/385, 7-27=-1801/385, 24-25=-210/389, 4-24=0/448, 13-15=-210/389,
 8-15=0/448, 18-19=-467/0, 13-16=-3988/0, 16-19=-64/1779, 19-20=-26/1779,
 20-25=-3988/0, 2-25=-270/1974, 10-13=-272/1974

- NOTES-**
- Unbalanced roof live loads have been considered for this design.
 - Wind: ASCE 7-05; 110mph; TCDL=5.0psf; BCDL=5.0psf; h=30ft; Cat. II; Exp C; enclosed; MWFRS (low-rise) gable end zone and C-C Interior(1) zone; cantilever left and right exposed ; end vertical left and right exposed;C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.33 plate grip DOL=1.33
 - TCLL: ASCE 7-05; Pr=20.0 psf (roof live load; Lumber DOL=1.15 Plate DOL=1.15); Pg=20.0 psf (ground snow); Pf=14.0 psf (flat roof snow; Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp C; Partially Exp.; Ct= 1
 - Unbalanced snow loads have been considered for this design.
 - This truss has been designed for greater of min roof live load of 12.0 psf or 1.00 times flat roof load of 14.0 psf on overhangs non-concurrent with other live loads.
 - This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas with a clearance greater than 6-0-0 between the bottom chord and any other members.
 - Ceiling dead load (5.0 psf) on member(s). 4-5, 7-8, 5-27, 7-27; Wall dead load (5.0psf) on member(s).4-24, 8-15
 - Bottom chord live load (40.0 psf) and additional bottom chord dead load (0.0 psf) applied only to room. 20-24, 18-20, 16-18, 15-16
 - Bearing at joint(s) 26, 12 considers parallel to grain value using ANSI/TPI 1 angle to grain formula. Building designer should verify capacity of bearing surface.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 424 lb uplift at joint 26 and 424 lb uplift at joint 12.

Job	Truss	Truss Type	Qty	Ply	DALE BUCKNER IRONTO JOB
75293	A1	ATTIC	21	1	

Tristate Components, Sparta, N.C.

Job Reference (optional)

NOTES-

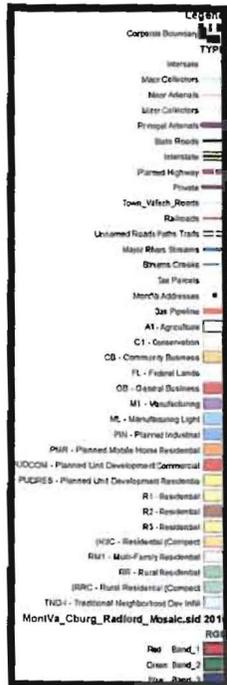
- 12) This truss is designed in accordance with the 2009 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.
- 13) This truss design requires that a minimum of 7/16" structural wood sheathing be applied directly to the top chord and 1/2" gypsum sheetrock be applied directly to the bottom chord.
- 14) Attic room checked for L/360 deflection.

LOAD CASE(S) Standard



STVERAK, LISA R., 3641 KNOB FOREST CIRCLE, PID 130887; TAX MAP 032-A-18G, ZONED A-1

2015 MONTVA
AERIAL PHOTO



Montgomery County, Virginia
DISCLAIMER

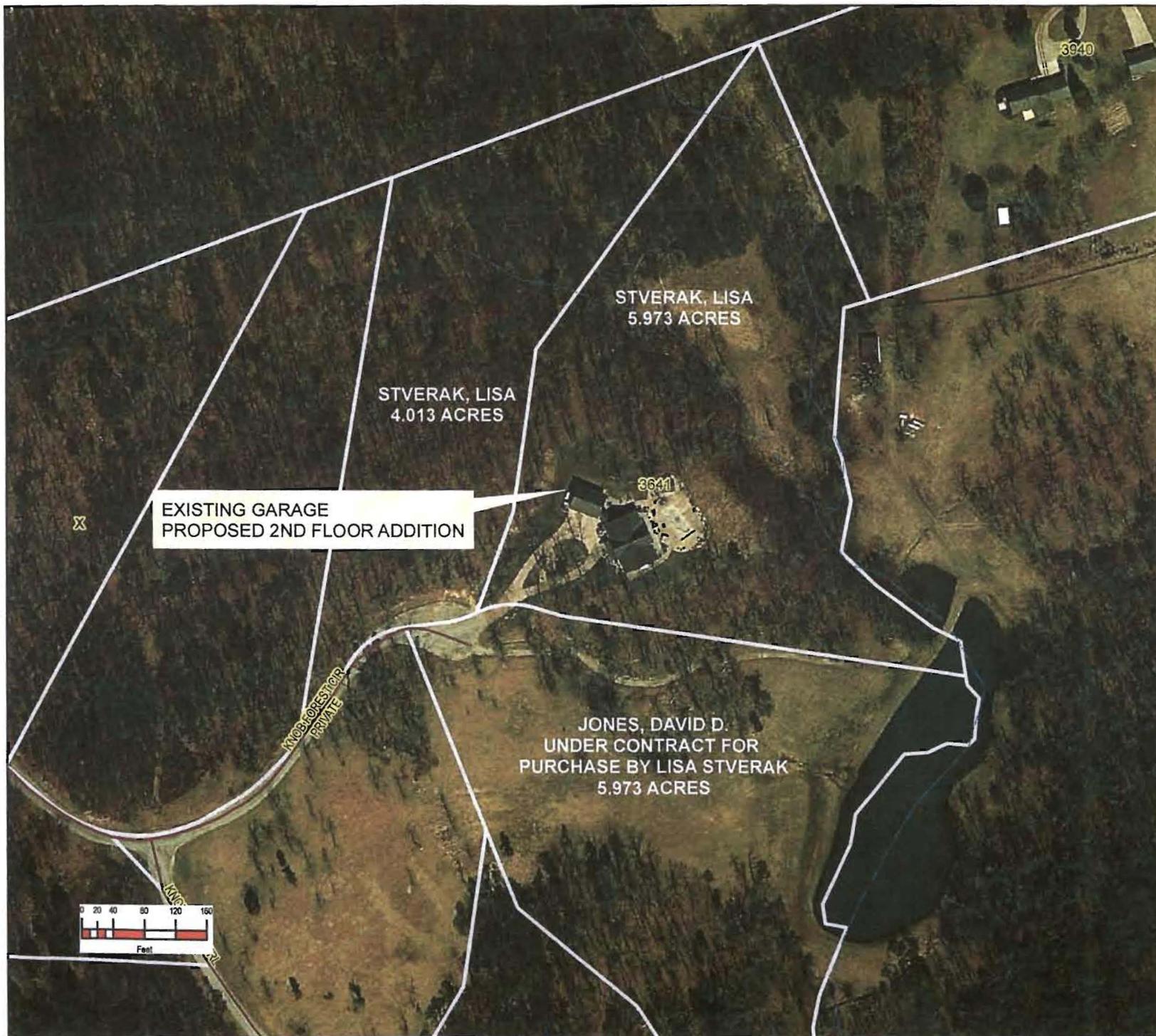
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STVERAK, LISA R., 3641 KNOB FOREST CIRCLE, PID 130887; TAX MAP 032-A-18G, ZONED A-1

2015 MONTVA AERIAL PHOTO

LEGEND	
Corporate Boundary	11
TYPE	
Interstate	
Major Collectors	
Minor Arterials	
Minor Collectors	
Principal Arterials	
State Roads	
Interstate	
Planned Highway	
Private	
Town/Village/Plains	
Railroads	
Unimproved Roads/Paths/Trails	
Major Dams/Streams	
Streams/Creeks	
Tax Parcels	
Mobile Address	
Gas Pipelines	
AI - Agriculture	
CI - Conservation	
CB - Community Business	
FL - Federal Lands	
GB - General Business	
MI - Manufacturing	
ML - Manufacturing Light	
PI - Planned Industrial	
PMR - Planned Mobile Home Residential	
PLDCOM - Planned Unit Development Commercial	
PLUCRES - Planned Unit Development Residential	
R1 - Residential	
R2 - Residential	
R3 - Residential	
RC - Residential (Compact)	
RM - Multi-Family Residential	
RR - Rural Residential	
RRC - Rural Residential (Compact)	
TND - Traditional Neighborhood Dev Int'l	
MontVa_Cburg_Radford_Mosaic.aid 2011	
RG1	
Red Band_1	
Green Band_2	
Blue Band_3	

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