

Application to Planning Commission and Board of Supervisors

Application For: (check appropriate boxes) <input type="checkbox"/> Rezoning <input type="checkbox"/> Rezoning & Special Use Permit <input checked="" type="checkbox"/> Special Use Permit	
Owner/Applicant Information: (Use current mailing/contact information for <u>all</u> property owners. An additional sheet may be attached for multiple owners.)	
Property Owner: <u>Walter T. & Sherry K. Saville</u>	Agent: <u>Gentry Locke Rakes & Moore LLP</u>
Address: <u>2416 Poverty Creek Road</u> <u>Blacksburg, Virginia 24060</u>	Address: <u>10 Franklin Road, Suite 900</u> <u>Roanoke, Virginia 24011</u>
Phone 1: <u>N/A</u>	Phone 1: <u>(540) 983-9350</u>
Phone 2: _____	Phone 2: _____
Email: <u>N/A</u>	Email: <u>mwiegard@gentrylocke.com</u>
Location of Property/ Site Address: <u>2418 Poverty Creek Road, Blacksburg, VA 24060</u>	
Legal Record of Property: Total Area: <u>7.74</u> Acres Magisterial District <u>E</u>	
Parcel ID: <u>Tower: 160436; 016650</u> Tax Parcel Number(s): <u>38-A-153D; 153</u>	
Rezoning Details: Current Zoning District: <u>N/A</u> Requested Zoning District: <u>N/A</u>	
Desired Use(s): <u>N/A</u>	
Special Use Permit: Current Zoning District <u>A-1</u> Total Area/Acres: <u>±400 sq. ft.</u>	
Desired Use(s): <u>Telecommunications Tower - Modifications to Existing Tower.</u>	
Comprehensive Plan Designation: <u>Rural</u>	
Traffic Impact Analysis Required: <input type="checkbox"/> Yes (payment enclosed) <input checked="" type="checkbox"/> No	
<i>I certify that the information supplied on this application and on the attachments provided (maps or other information) is accurate and true to the best of my knowledge. In addition, I hereby grant permission to the agents and employees of Montgomery County and State of Virginia to enter the above property for the purposes of processing and reviewing the above application.</i>	
<u>Walter T. Saville</u> <u>8-4-2015</u> Property Owner(s) Signature Date	<u>[Signature]</u> <u>8-1-15</u> Agent's Signature Date

FOR OFFICE USE ONLY

Date Received: _____ Application Number: _____

Traffic Impact Analysis and Payment Received: Yes No Date Submitted to VDOT: _____

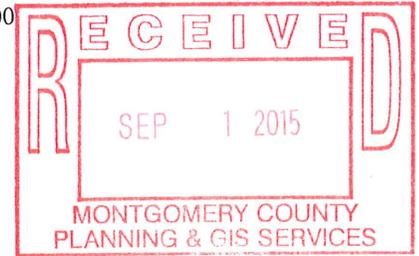
SU. 2015. 13035



GENTRY LOCKE
Attorneys

Maxwell H. Wiegard
mwiegard@gentrylocke.com
P: (540) 983-9350
F: (540) 983-9400

September 1, 2015



By Hand Delivery

Ms. Dari Jenkins
Planning & Zoning Administrator
Montgomery County, Department of Planning & GIS Services
755 Roanoke Street, Suite 2A
Christiansburg, Virginia 24073-3177

Re: Proposed Special Use Permit Application
Second Amended Justification Statement and Comprehensive Plan Justification
Tax Map Numbers: 38-A-153
Address: 2418 Poverty Creek Road, Blacksburg, Virginia 24060 (the "Subject Property")
Applicant: nTelos (Site ID RN515 Brookfield)

Dear Ms. Jenkins:

On behalf of nTelos, please accept this letter as a second amended statement of justification and Comprehensive Plan justification in support of the above referenced application.

The Subject Property is currently zoned to the Agricultural ("A-1") district and is identified in the "Rural" land use policy area of the Montgomery County, 2025, Comprehensive Plan. Located in the District E Magisterial District, the Subject Property consists of approximately 7.74 acres, while only a portion of the Subject Property is used by the Applicant. A portion of the existing telecommunications tower and adjacent property is leased by the Applicant and is currently used as a wireless telecommunications facility. The Applicant proposes a modification to the existing special use permit approval and approved conditions to accommodate minor technological equipment upgrades to the existing telecommunications facility. A copy of the existing special use permit is attached for ease of reference.

Specifically, for the reasons set forth below, the Applicant seeks relief from condition Nos. 2, 5 and 7 to the existing special use permit. Condition No. 2 requires conformance with the prior plans submitted in 2009. The proposed change in the design of nTelos's telecommunications facility differs from the design shown in the plans entitled, "nTelos Site #RN515, Site Name: Brookfield", prepared by Balzer and Associates, Inc., dated November 12, 2008 and received by Montgomery County on January 29, 2009 (the "2009 Concept Plan"). Condition No. 5 to the existing special use permit requires that all antennas mounted on the existing stealth monopole telecommunications tower to be "flush mounted" and prohibits the distance between the face of the pole and the outer face of the antennas from exceeding 12

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inches. Condition No. 7 to the existing special use permit prohibits the Applicant from constructing any platforms or dishes on the existing stealth monopole telecommunications tower above the tree line. Without relief from these conditions to the existing special use permit, nTelos would not be able to use a low-profile mount application described below, which is necessary to give the Applicant enough physical space to install all of the antennas and remote radio heads required for an important 4G/LTE technology upgrade within the existing tower space. In the event that the County considers the proposed low-profile mount application to be a "platform," as that term is used in the existing special use permit, the Applicant will need relief from Condition No. 7 to the existing special use permit. The Applicant also needs relief from Condition No. 7 because nTelos will need to install a microwave dish to provide Ethernet to this site, which is required for the proposed 4G/LTE technology upgrade, as there is no Ethernet fiber cable serving this site.

Accordingly, NTELOS proposes the following modifications/deletions to the existing conditions:

- 1) Amend Condition 2 to reflect the revised plans prepared by Mead & Hunt, revised on August 21, 2015;
- 2) Amend Condition 5 to permit the installation of a low profile antenna mount with a distance between the face of the pole and the outer face of the antennas not to exceed 72 inches; and
- 3) Delete Condition 7.

In the way of background, the Applicant is in the process of enhancing its existing voice and data network by replacing old network equipment with next generation 4G/LTE ("Long Term Evolution") equipment at most of its wireless telecommunications facilities in Montgomery County. The equipment and technology upgrade will provide the Applicant's customers in Montgomery County with access to the most advanced broadband service available along with improved call performance, expanded coverage, faster data speeds and stronger indoor signals.

The Applicant's current facility consists of two (2) BXA-185063/12CF_0, one (1) BXA-185040/8CF_2 antennas and six (6) 1-5/8" coaxial cables at a centerline height of 147' on an existing 150' tower. The Applicant also has two (2) equipment cabinets located on an existing platform at the base of the tower. As shown on the enclosed plans prepared by Mead & Hunt, last revised on August 21, 2015, the Applicant proposed modifications consist principally of the following elements:

- 1) On the tower:
 - a. Two (2) existing BXA-185063/12CF_0 and one (1) BXA-185040/8CF_2 panel antennas and six (6) 1-5/8" coaxial cables mounted at an antenna centerline height of 147' above grade level to remain, with new remote radio heads; and

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- b. Three (3) new ET-X-UW-68-14-65-18-IR-AT panel antennas mounted at an antenna centerline height of 147' above grade level, with associated remote radio heads; and
- c. One (1) new Microwave Dish and Dragonwave Quantum Radio mounted at an antenna centerline height of 139' above grade level; and
- d. Three (3) new hybridflex cables; and
- e. Low profile co-location platform.

2) In the Existing Compound:

- a. One (1) new 9927 Base Transceiver Station and one (1) new battery cabinet to be located within the existing ground leased space (ie., platform).

Notably, the Applicant's modifications will not increase the height of the tower or the dimensions of the equipment compound. In addition to the installation of new antennas, the equipment upgrade requires the installation of tower-mounted electronics ("Remote Radio Heads") that were not envisioned when the original special use permit application was granted. These Remote Radio Heads cannot fit into a flush-mount configuration, as specified in the existing special permit conditions, and restricting their installation will severely impact the Applicant's ability to provide the advanced broadband services that wireless users demand and reduce collocation opportunities on the tower. The Applicant proposes to use a low-profile mount application, which would give the Applicant enough physical space for the antennas and remote radio heads required for the 4G/LTE technology upgrade within the existing tower space. Although not a flush-mount application, the low-profile mount mitigates potential adverse impacts and still achieves the network improvements that the Applicant's customers need. For reference, I have enclosed a drawing showing another tower located in Montgomery County that has been upgraded to 4G/LTE technology using a standard mount application. As you will note from comparing the proposed low-profile mount with the standard mount, there are distinguishing features of the low-profile mount that serve to minimize the impact of the proposed design.

The existing tower satisfies the additional regulations for freestanding telecommunications towers, provided in Section 10-48(6) of the Montgomery County Zoning Ordinance (the "Zoning Ordinance") and the Applicant's modifications will not impact the towers' compliance with those regulations.

Similarly, as detailed item by item below, the modifications to the existing special use permit satisfies the conditions and factors when evaluating a special use permit, as specified in Section 10-54(3)(g) of the Zoning Ordinance:

1. Whether the proposed Special Use Permit is consistent with the Comprehensive Plan (Addressed under "3. Comprehensive Plan Justification").

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- a. Applicant's Response: See additional discussion below for a discussion of the application's consistency with the Comprehensive Plan.
2. Whether the proposed Special Use Permit will adequately provide for safety from fire hazards and have effective measures of fire control.
 - a. Applicant's Response: Not applicable.
3. The level and impact of any noise emanating from the site, including that generated by the proposed use, in relation to the uses in the immediate area.
 - a. Applicant's Response: The Applicant does not anticipate any noise impacts during operation. Some short-term noise will be expected during the construction process.
4. The glare or light that may be generated by the proposed use in relation to uses in the immediate area.
 - a. Applicant's Response: Not applicable.
5. The proposed location, lighting and type of signs in relation to the proposed use, uses in the area, and the sign requirements of this Ordinance.
 - a. Applicant's Response: Not applicable.
6. The compatibility of the proposed use with other existing or proposed uses in the neighborhood, and adjacent parcels.
 - a. Applicant's Response: The existing tower has been sited to minimize negative impacts and to preserve compatibility with surrounding uses.
7. The location and area footprint with dimensions (all drawn to scale), nature and height of existing or proposed buildings, structures, walls, and fences on the site and in the neighborhood.
 - a. Applicant's Response: Please see the Concept Development Plan for all dimensional details.
8. The nature and extent of existing or proposed landscaping, screening and buffering on the site and in the neighborhood.
 - a. Applicant's Response: The existing tower is surrounded by substantial vegetation.
9. The timing and phasing of the proposed development and the duration of the proposed use.
 - a. Applicant's Response: The requested modifications will prolong the technological useful life of the tower.

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10. Whether the proposed Special Use Permit will result in the preservation or destruction, loss or damage of any topographic or physical, natural, scenic, archaeological or historic feature of significant importance.
 - a. Applicant's Response: Not applicable.
11. Whether the proposed Special Use Permit at the specified location will contribute to or promote the welfare or convenience of the public.
 - a. Applicant's Response: As noted above, the Applicant's proposed upgrades will allow the Applicant to better serve and to meet the wireless telecommunications needs of its customers who are residents of Montgomery County.
12. The traffic expected to be generated by the proposed use, the adequacy of access roads and the vehicular and pedestrian circulation elements (on and off-site) of the proposed use, all in relation to the public's interest in pedestrian and vehicular safety and efficient traffic movement.
 - a. Applicant's Response: Not applicable.
13. Whether, in the case of existing structures proposed to be converted to uses requiring a Special Use Permit, the structures meet all code requirements of Montgomery County.
 - a. Applicant's Response: Not applicable.
14. Whether the proposed Special Use Permit will be served adequately by essential public facilities and services.
 - a. Applicant's Response: Yes.
15. The effect of the proposed Special Use Permit on groundwater supply.
 - a. Applicant's Response: Not applicable.
16. The effect of the proposed Special Use Permit on the structural capacity of the soils.
 - a. Applicant's Response: Not applicable.
17. Whether the proposed use will facilitate orderly and safe road development and transportation.
 - a. Applicant's Response: Not applicable.
18. The effect of the proposed Special Use Permit on environmentally sensitive land or natural features, wildlife habitat and vegetation, water quality and air quality.
 - a. Applicant's Response: As the Applicant will be upgrading an existing tower without changes to the overall height, none of these impacts are anticipated.

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19. Whether the proposed Special Use Permit use will provide desirable employment and enlarge the tax base by encouraging economic development activities consistent with the Comprehensive Plan.
 - a. Applicant's Response: Not applicable.
20. Whether the proposed Special Use Permit considers the needs of agriculture, industry, and businesses in future growth.
 - a. Applicant's Response: Yes, the Applicant has recognized the need to provide the most up to date technology available which will foster the needs of industry and businesses, as well as, residents.
21. The effect of the proposed Special Use Permit use in enhancing affordable shelter opportunities for residents of the County.
 - a. Applicant's Response: Not applicable.
22. The location, character, and size of any outdoor storage.
 - a. Applicant's Response: Not applicable.
23. The proposed use of open space.
 - a. Applicant's Response: Not applicable.
24. The location of any major floodplain and steep slopes.
 - a. Applicant's Response: Not applicable.
25. The location and use of any existing non-conforming uses and structures.
 - a. Applicant's Response: Not applicable.
26. The location and type of any fuel and fuel storage.
 - a. Applicant's Response: All fuel storage will be provided in accordance with the existing conditions.
27. The location and use of any anticipated accessory uses and structures.
 - a. Applicant's Response: Not applicable.
28. The area of each use; if appropriate.
 - a. Applicant's Response: Not applicable.
29. The proposed days/hours of operation.
 - a. Applicant's Response: Not applicable.
30. The location and screening of parking and loading spaces and/or areas.
 - a. Applicant's Response: Not applicable.

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31. The location and nature of any proposed security features and provisions.
 - a. Applicant's Response: Appropriate security procedures are incorporated into the existing facility.
32. The number of employees.
 - a. Applicant's Response: Not applicable.
33. The location of any existing and/or proposed adequate on and off-site infrastructure.
 - a. Applicant's Response: Not applicable.
34. Any anticipated odors, which may be generated by the uses on site.
 - a. Applicant's Response: Not applicable.
35. Whether the proposed Special Use Permit uses have sufficient measures to mitigate the impact of construction traffic on existing neighborhoods and school areas.
 - a. Applicant's Response: Not applicable.

The proposed application is also consistent with the Comprehensive Plan guidance. The proposed application does not alter any lot size or district minimum sizes and will have no impact on the availability of water or sewer services. Consistent with the policies of the Rural land use policy area, the Applicant does not seek to further develop the Subject Property or add additional density. Finally, this application recognizes the value of an existing tower and collocation opportunities, in lieu of additional tower sites which is in harmony with Montgomery County's Regional Approach to Telecommunications Tower, which became a part of the County's Comprehensive Plan in 2001.

Also relevant to the Applicant's application is federal legislation passed in 2012. Section 6409(a) of the Middle Class Tax Relief and Job Creation Act of 2012, commonly known as the "Spectrum Act" was created to foster the more rapid deployment of wireless telecommunications nationwide. Among other things, the Spectrum Act, mandated the local government administrative review and approval of certain modifications to existing telecommunications facilities. In late 2014, the Federal Communications Commission ("FCC") published rules in an effort to eliminate confusion resulting from inconsistent interpretations and informal guidance and to promote the congressional intent of Section 6409(a). The FCC rules became effective on April 8, 2015. The FCC unanimously adopted a Report and Order that codified certain rules to clarify, define, and implement the language of Section 6409(a) (the "Report and Order"). The Report and Order provides specific guidance to localities when faced with an application seeking to enhance wireless infrastructure on existing facilities, including definitions of "transmission equipment," "wireless tower or base station," "removal," "replacement," "modification," and "substantial change," and establishing time periods for state and local government review. The FCC defines the above terms broadly and in a manner reflecting the congressional intent to



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facilitate the rapid deployment of upgrades to existing wireless communications infrastructure. Applying the FCC rules to the technological changes associated with the upgrade to 4G/LTE technology proposed by the Applicant, these upgrades are the nature of upgrades that are eligible for an expedited review by Montgomery County.

In accordance with the policy of Montgomery County, I have enclosed ten (10) paper copies and one (1) digital submission of the application package, consisting of the special use permit application form, this statement, the concept development plan, and the drawing of a standard mount (non-low profile) application.

Thank you in advance for your consideration and please do not hesitate to contact me to further discuss any of the application materials. I look forward to continuing to work with you and other representatives of Montgomery County regarding this application.

Very truly yours,

GENTRY LOCKE

A handwritten signature in blue ink, appearing to read 'Maxwell H. Wiegard', written over the typed name.

Maxwell H. Wiegard

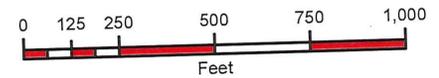
Enclosures

cc: Ms. Debbie Balser
Jonathan D. Puvak, Esq.



Map Prepared by Montgomery County, Va
 Planning and GIS Services, 06/02/2015

2418 Poverty Creek Rd



SU-2015-13035



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

**BROOKSFIELD
RN515
EXISTING 150' MONOPOLE TOWER SITE
INSTALLATION OF LTE EQUIPMENT**

OWNER / DEVELOPER CERTIFICATION

I, _____, HEREBY ACKNOWLEDGE THE SITE IMPROVEMENTS IMPOSED BY THIS PLAN AND MONTGOMERY COUNTY. I HEREBY AGREE TO DEVELOP THE SUBJECT PROPERTY IN COMPLIANCE WITH THE PLAN AND WILL SUBMIT ANY PLAN REVISIONS TO MONTGOMERY COUNTY FOR APPROVAL. I AGREE TO POST ALL REQUIRED BONDS WITH MONTGOMERY COUNTY FOR DEVELOPMENT AND ACKNOWLEDGE ALL IMPROVEMENTS MUST BE COMPLETED TO THE COUNTY'S SATISFACTION PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

SIGNATURE DATE

TOWER OWNER AGREES TO MAINTAIN ALL VEGETATION AS SHOWN ON THE LANDSCAPE PLAN IN A VIABLE CONDITION.

SIGNATURE DATE

ZONING APPROVAL AND ACCEPTANCE
THE HEREON SHOWN SITE PLAN DATED AUGUST 21, 2015 HAS BEEN SUBMITTED TO AND APPROVED FOR ACCEPTANCE BY MONTGOMERY COUNTY, VIRGINIA

PLANNING & ZONING ADMINISTRATOR DATE



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME:	BROOKSFIELD
SITE NUMBER:	RN515
SITE ADDRESS:	2418 POVERTY CREEK ROAD BLACKSBURG, VA 24060
AREA:	LEASE AREA = 400 SQ. FT.
TOWER OWNER:	CIG COMP TOWER, LLC 5 CONCOURSE PARKWAY, SUITE 3100 ATLANTA, GA 30328
LATITUDE:	N37° 13' 51.0"
LONGITUDE:	W80° 31' 14.0"

SIGNATURE BLOCK

SITE NAME
BROOKSFIELD

SITE NUMBER
RN515

SITE ADDRESS
2418 POVERTY CREEK ROAD
BLACKSBURG, VA 24060

TOWER OWNER
CIG COMP TOWER, LLC
5 CONCOURSE PARKWAY, SUITE 3100
ATLANTA, GA 30328

SHEET	TITLE
SHEET T-1	TITLE SHEET
SHEET C-1	EXISTING CONDITIONS
SHEET C-2	EQUIPMENT LAYOUT
SHEET C-3	UTILITY SERVICE PLAN
SHEET C-4	GROUNDING PLAN
SHEET C-5	HYBRIFLEX CABLE DIAGRAM
SHEET C-6	ANTENNA CONFIGURATION
SHEET C-6A	MICROWAVE DISH CONFIGURATION
SHEET C-7	TOWER ELEVATION
SHEET C-8	ANTENNA DETAILS
SHEET D-1	MISCELLANEOUS DETAILS
SHEET D-2	MISCELLANEOUS DETAILS
SHEET D-3	MISCELLANEOUS DETAILS
SHEET D-4	MISCELLANEOUS DETAILS
SHEET D-5	MISCELLANEOUS DETAILS
SHEET D-6	MISCELLANEOUS DETAILS
SHEET D-7	MISCELLANEOUS DETAILS
SHEET D-8	ELECTRICAL DETAILS
SHEET D-9	GENERAL NOTES

SITE DATA
NAD 83 LATITUDE - N37° 13' 51.0"
NAD 83 LONGITUDE - W80° 31' 14.0"

LEASE AREA
400 SQUARE FEET

PROJECT DESCRIPTION
INSTALLATION OF NEW ANTENNAS ON EXISTING 150' MONOPOLE TOWER AND OUTDOOR EQUIPMENT ON EXISTING EQUIPMENT FRAME. NEW UTILITY RUNS TO SITE.

JURISDICTION
MONTGOMERY COUNTY

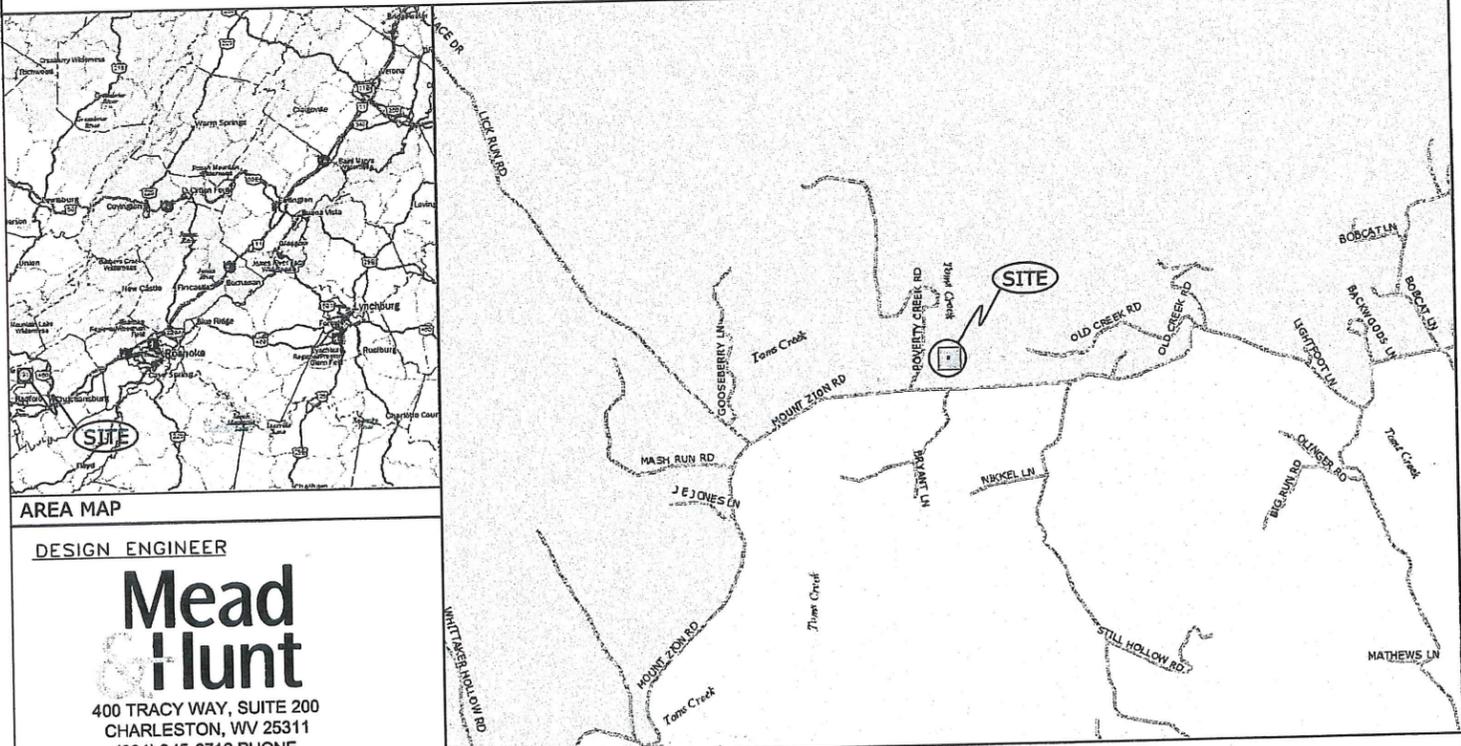
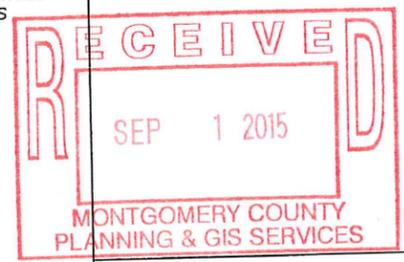
CONTACTS

nTELOS (CONSTRUCTION)
BEN PIERCE
(804) 218-5474 - PHONE
7501 BOULDERS VIEW DR., SUITE 600
RICHMOND, VA 23225

nTELOS (LEASING)
DEBBIE BALSER
(540) 941-4220 x3071 - PHONE
(540) 941-4106 - FAX

MEAD & HUNT
CURTIS PAXTON
(304) 553-8103 - PHONE
400 TRACY WAY, SUITE 200
CHARLESTON, WV 25311

NO.	REVISION/ISSUE	DATE
1	ISSUE FOR COMMENT	04/24/15
2	REISSUE FOR COMMENT	05/14/15
3	ISSUE FOR CONSTRUCTION	05/19/15
4	REISSUE FOR CONSTRUCTION	08/07/15
5	REISSUED	08/21/15



AREA MAP

DESIGN ENGINEER

Mead & Hunt

400 TRACY WAY, SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE
(304) 345-6714 FAX

VICINITY MAP

SITE DIRECTIONS

FROM 1150 SHENANDOAH VILLAGE DRIVE, WAYNESBORO VA: HEAD SOUTHWEST ON STATE ROUTE F-209/SHENANDOAH VILLAGE DR (0.9 MI). TURN RIGHT ONTO P. BUCKLEY MOSS DR (0.4 MI). TURN LEFT ONTO THE INTERSTATE 64 W RAMP (0.3 MI). MERGE ONTO I-64 W (6.8 MI). TAKE THE INTERSTATE 81 S EXIT ON THE LEFT TOWARD INTERSTATE 64 W/LEXINGTON/ROANOKE (0.8 MI). MERGE ONTO I-81 S (10.2 MI). TAKE EXIT 118C-B-A TO MERGE ONTO US-460 W (10.6 MI). EXIT ONTO VA-412 N/PRICES FORK RD TOWARD DOWNTOWN (0.2 MI). MERGE ONTO VA-412 N/PRICES FORK RD (0.4 MI). TURN LEFT ONTO OLD GLADE RD (0.2 MI). TURN LEFT ONTO GLADE RD (3.7 MI). TURN RIGHT ONTO STATE RTE 655 (1.6 MI). TURN RIGHT ONTO STATE RTE 725 (N 37° 13' 52.43", W 80° 31' 19.01") (0.2 MI). TURN RIGHT AND FOLLOW ACCESS ROAD TO SITE LOCATED ON THE RIGHT.

CONSULTANT TEAM

DIRECTIONS TO SITE

PROJECT INFORMATION

EMERGENCY AND UTILITY CONTACTS

SHEET INDEX

POLICE/FIRE/RESCUE
911

ELECTRIC POWER
AEP
CONTACT: CUSTOMER SERVICE
PHONE#: 800-956-4237

TELEPHONE
LUMOS
CONTACT: CUSTOMER SERVICE
PHONE#: 800-320-6144

nTELOS NOC
(800) 566-9568 - PHONE

Mead & Hunt

400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

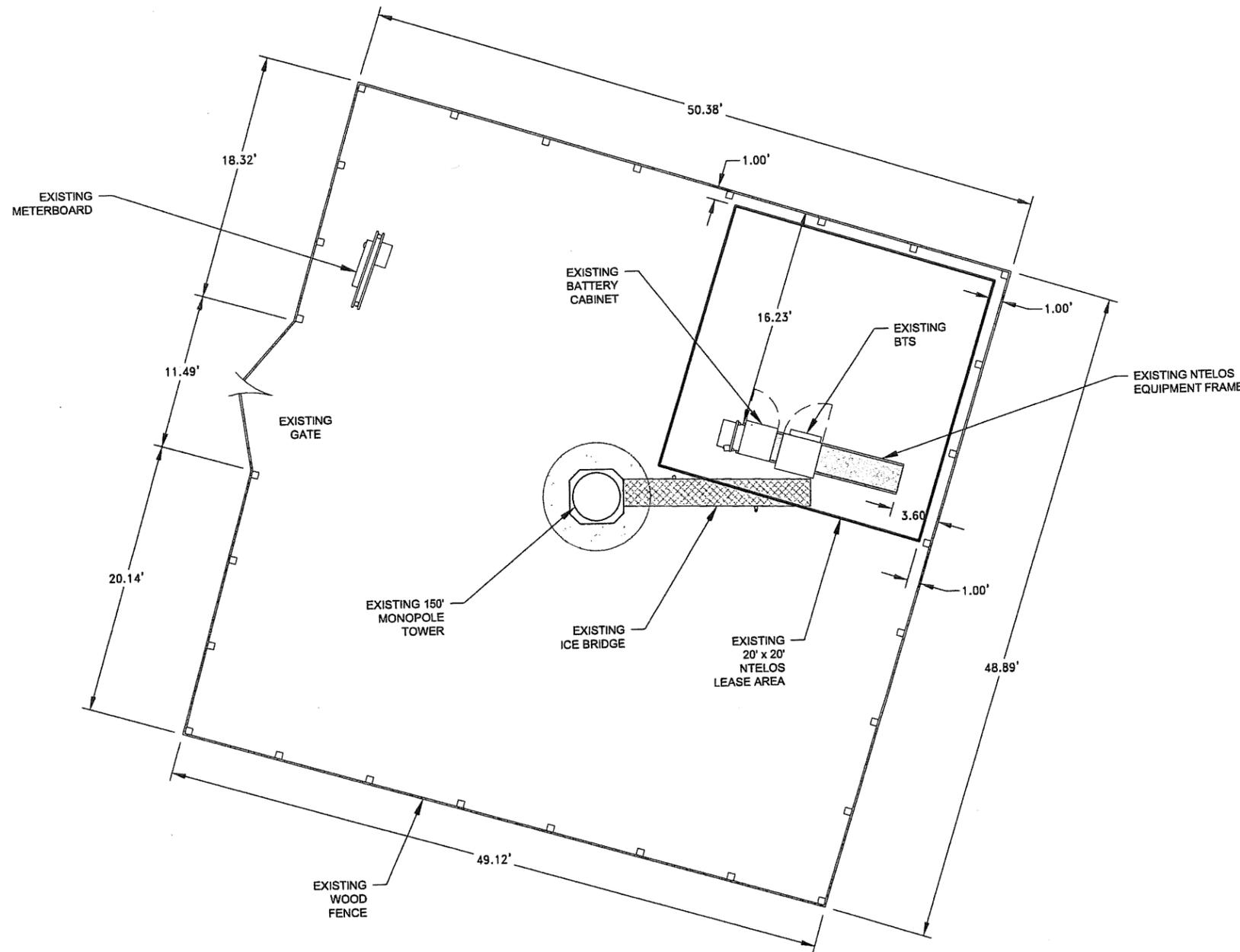
PROJECT # R4022100-155615.01

TITLE SHEET	SHEET
	T-1



LEGEND

---	PROPERTY LINE
- - - -	TRACT LINE
====	LEASE LINE
----	ROW LINE
x - - - x	EXISTING FENCE LINE
xx - - - xx	PROPOSED FENCE LINE
G - - - G	GAS LINE
E - - - E	OVERHEAD POWER
T - - - T	OVERHEAD TELEPHONE
- - - - UE	UNDERGROUND POWER
- - - - UT	UNDERGROUND TELCO.
- - - - E&T	OVERHEAD POWER/TELEPHONE
⊙	5/8" REBAR W/CAP SET
⊠	FOUND MONUMENTATION
⊙	CALCULATED POINT
⊙	EXISTING UTILITY POLE
⊙	PROPOSED UTILITY POLE



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: BROOKSFIELD

SITE NUMBER: RN515

SITE ADDRESS:
2418 POVERTY CREEK ROAD
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AREA:
LEASE AREA = 400 SQ. FT.

TOWER OWNER:
CIG COMP TOWER, LLC
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LATITUDE: N37° 13' 51.0"

LONGITUDE: W80° 31' 14.0"

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3	ISSUE FOR CONSTRUCTION	05/19/15
4	REISSUE FOR CONSTRUCTION	08/07/15
5	REISSUED	08/21/15



400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-155615.01

EXISTING CONDITIONS	SHEET
	C-1

NOTE:
THE MEASUREMENTS SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND ARE ACCURATE ONLY TO THE MEANS BY WHICH THEY WERE OBTAINED: SOME FROM SURVEY DATA, HAND MEASUREMENTS OR OTHER RELATIVE SKETCHES/DRAWINGS. ALL MEASUREMENTS SHALL BE VERIFIED BY THE CONTRACTOR AND MINOR ADJUSTMENTS MADE TO FACILITATE THE INSTALLATION OF ALL MATERIALS AND EQUIPMENT. ANY MAJOR DISCREPANCIES SHALL BE PRESENTED TO NTELOS BEFORE PROCEEDING WITH THE WORK.

GRAPHIC SCALE

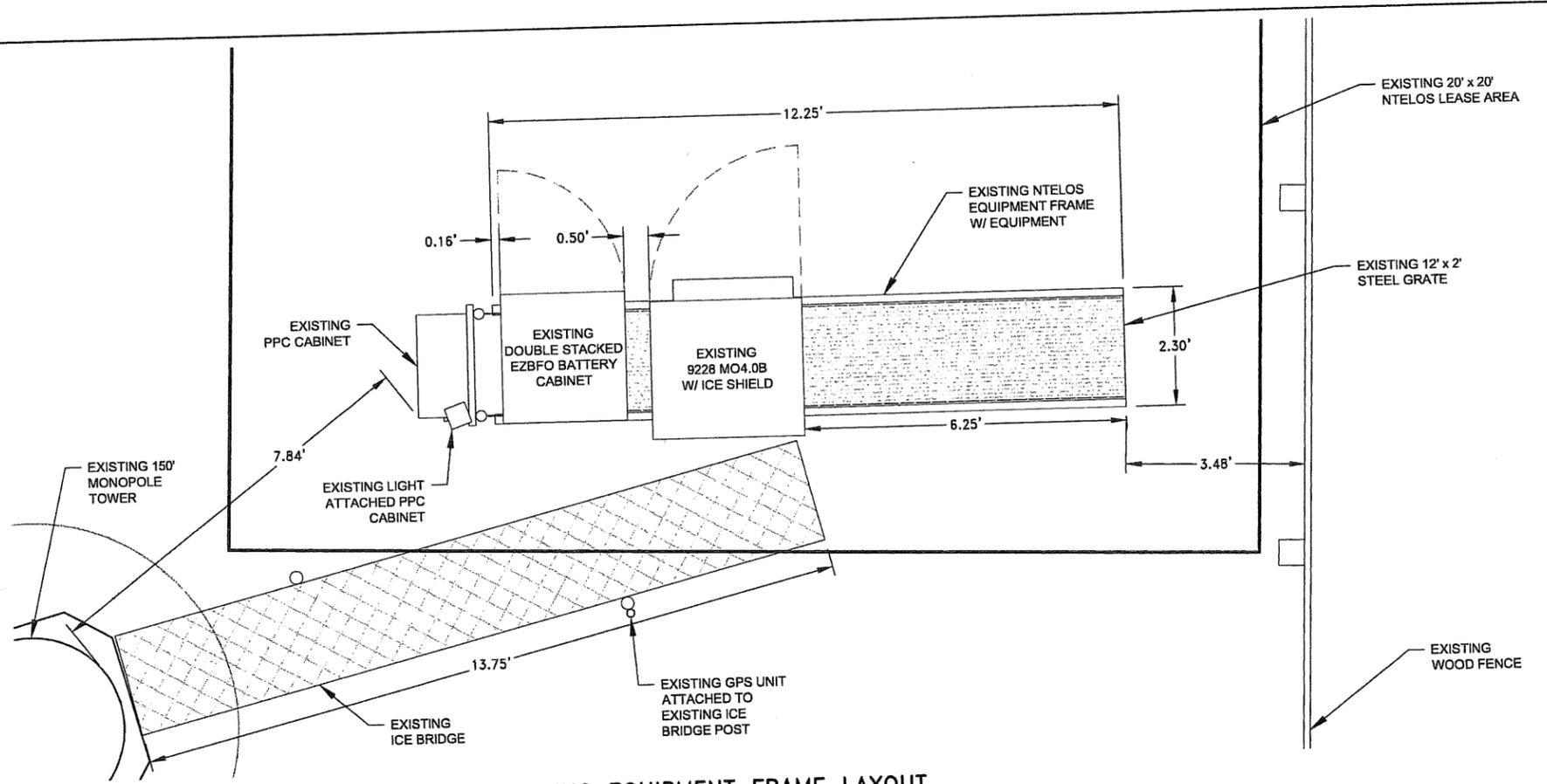


1 INCH = 10 FEET

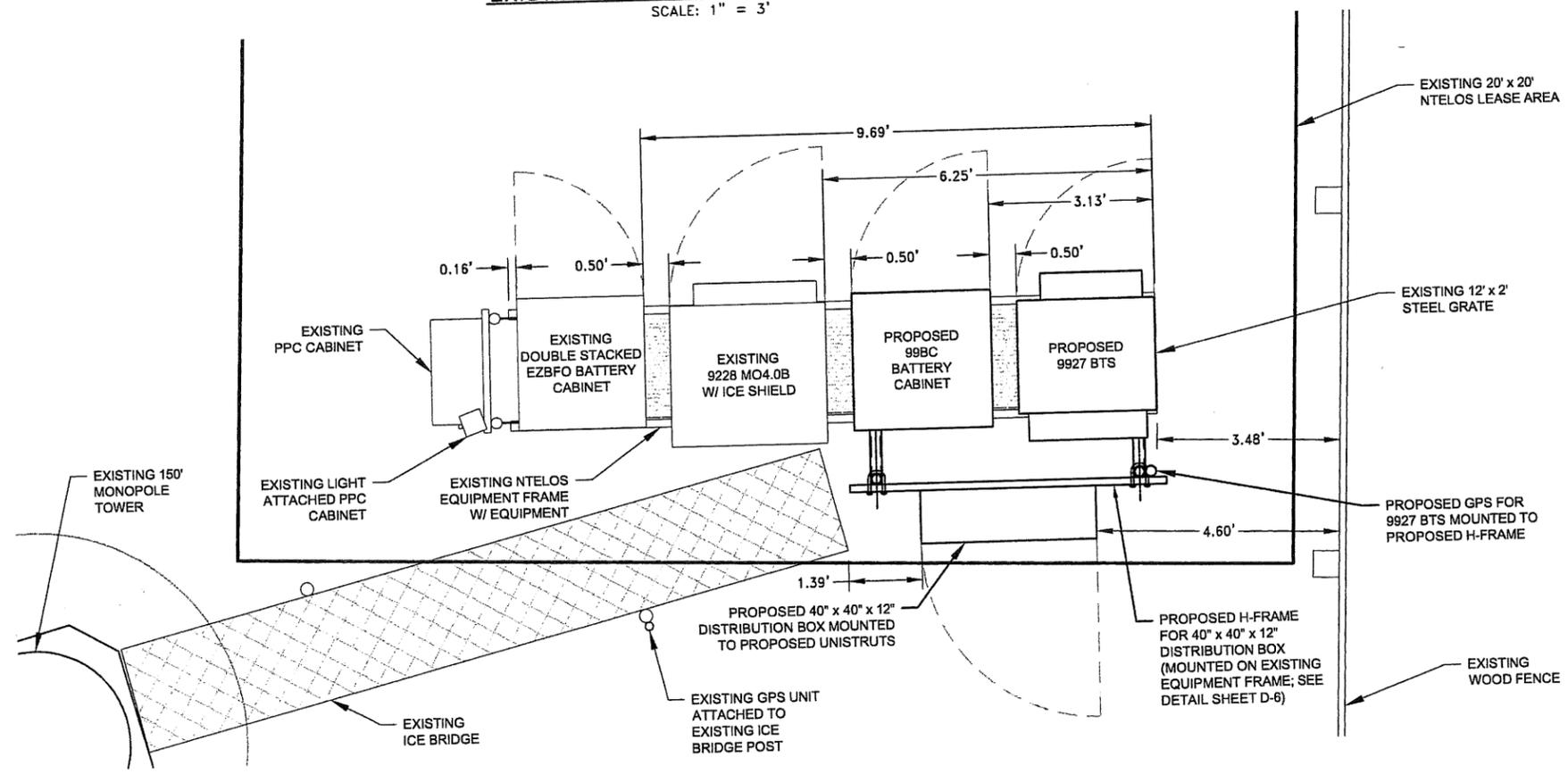


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NOTE:
THE CONTRACTOR SHALL VERIFY RF CONFIGURATION WITH NTELOS 48 HOURS PRIOR TO INSTALLATION OF ANY EQUIPMENT.



EXISTING EQUIPMENT FRAME LAYOUT
SCALE: 1" = 3'



PROPOSED EQUIPMENT FRAME LAYOUT
SCALE: 1" = 3'



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: BROOKSFIELD

SITE NUMBER: RN515

SITE ADDRESS:
2418 POVERTY CREEK ROAD
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CIG COMP TOWER, LLC
5 CONCOURSE PARKWAY, SUITE 3100
ATLANTA, GA 30328

LATITUDE: N37° 13' 51.0"

LONGITUDE: W80° 31' 14.0"

NO.	REVISION/ISSUE	DATE
1	ISSUE FOR COMMENT	04/24/15
2	REISSUE FOR COMMENT	05/14/15
3	ISSUE FOR CONSTRUCTION	05/19/15
4	REISSUE FOR CONSTRUCTION	08/07/15
5	REISSUED	08/21/15



400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-155615.01

EQUIPMENT LAYOUT	SHEET
	C-2



LEGEND

---	PROPERTY LINE
- - -	TRACT LINE
---	LEASE LINE
---	ROW LINE
-x-x-	EXISTING FENCE LINE
-xx-xx-	PROPOSED FENCE LINE
-G-G-	GAS LINE
-E-E-	OVERHEAD POWER
-T-T-	OVERHEAD TELEPHONE
-UE-UE-	UNDERGROUND POWER
-UT-UT-	UNDERGROUND TELCO.
-E&T-E&T-	OVERHEAD POWER/TELEPHONE
⊙	5/8" REBAR W/CAP SET
⊠	FOUND MONUMENTATION
⊙	CALCULATED POINT
⊙	EXISTING UTILITY POLE
⊙	PROPOSED UTILITY POLE

Netelos
 1150 SHENANDOAH VILLAGE DRIVE
 WAYNESBORO, VA 22980

SITE NAME: BROOKSFIELD

SITE NUMBER: RN515

SITE ADDRESS:
 2418 POVERTY CREEK ROAD
 BLACKSBURG, VA 24060

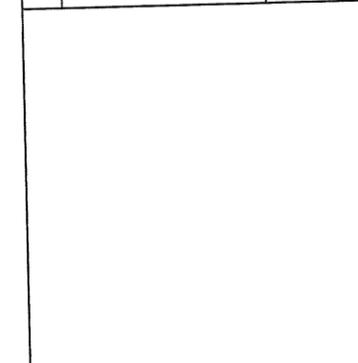
AREA:
 LEASE AREA = 400 SQ. FT.

TOWER OWNER:
 CIG COMP TOWER, LLC
 5 CONCOURSE PARKWAY, SUITE 3100
 ATLANTA, GA 30328

LATITUDE: N37° 13' 51.0"

LONGITUDE: W80° 31' 14.0"

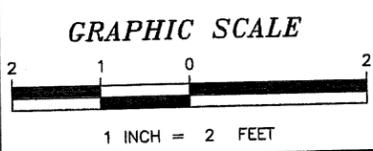
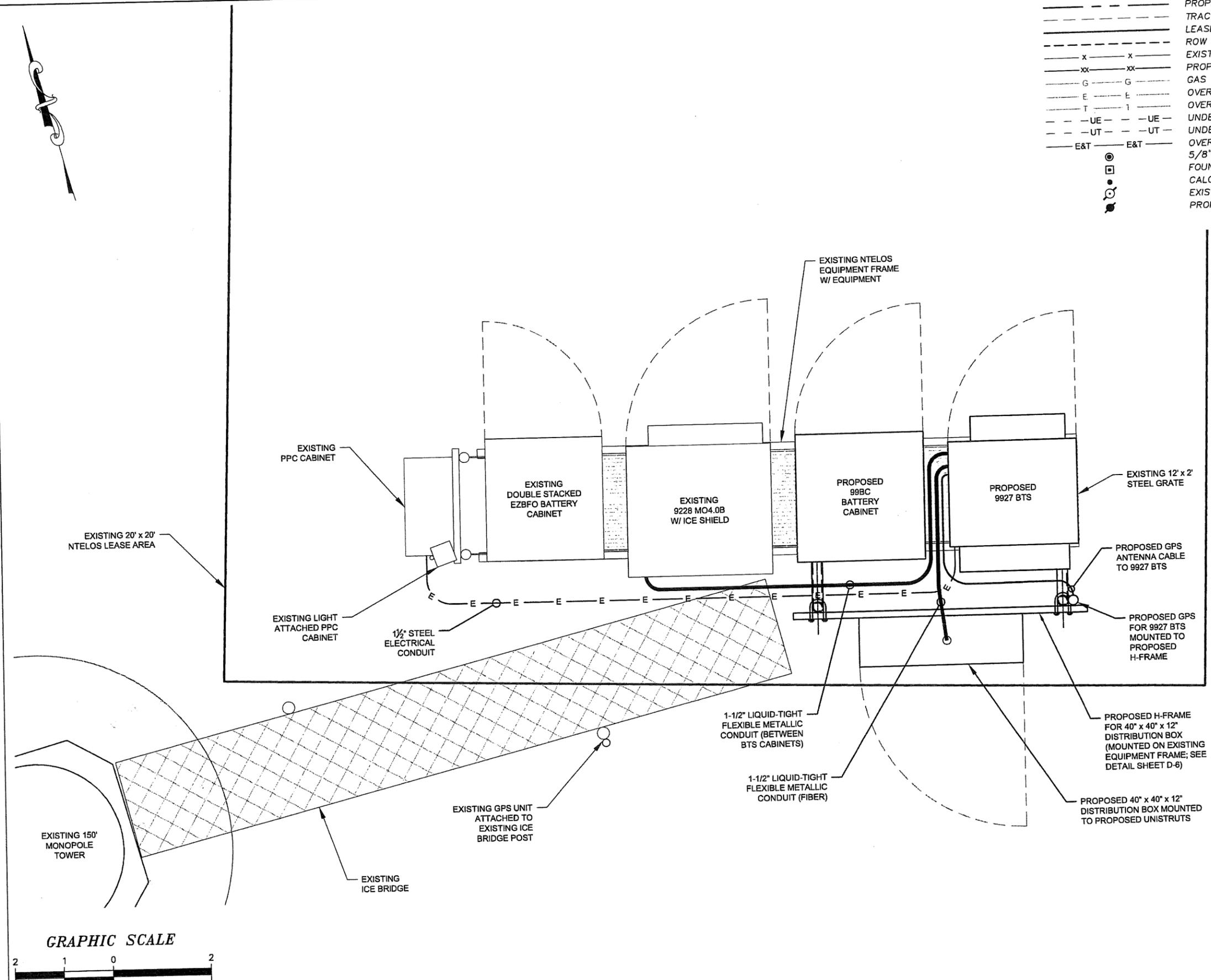
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Mead & Hunt
 400 TRACY WAY
 SUITE 200
 CHARLESTON, WV 25311
 (304) 345-6712 PHONE

PROJECT # R4022100-155615.01

UTILITY SERVICE PLAN	SHEET
	C-3



GROUNDING LEGEND

- 5/8" x 8' COPPER-CLAD STEEL GROUND ROD
- ⊙ GROUND ROD WITH PLASTIC INSPECTION SLEEVE
- COMPRESSION LUG CONNECTION
- ▶ EXOTHERMIC WELD GROUNDING CONNECTION
- P — POWER RATING
- T — TELCO WIRING
- G — GROUND WIRING

ABBREVIATIONS

A	AMPERE	PVC	POLYVINYL CHLORIDE
C	CONDUIT	V	VOLT
(E)	EXISTING	W	WIRE
G	GROUND	Ø	PHASE
P	POLE		

NOTE:
GROUND ALL PROPOSED EQUIPMENT PER
MANUFACTURER'S SPECIFICATIONS AND/OR
NEC REQUIREMENTS.



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: BROOKSFIELD

SITE NUMBER: RN515

SITE ADDRESS:
2418 POVERTY CREEK ROAD
BLACKSBURG, VA 24060

AREA:
LEASE AREA = 400 SQ. FT.

TOWER OWNER:
CIG COMP TOWER, LLC
5 CONCOURSE PARKWAY, SUITE 3100
ATLANTA, GA 30328

LATITUDE: N37° 13' 51.0"

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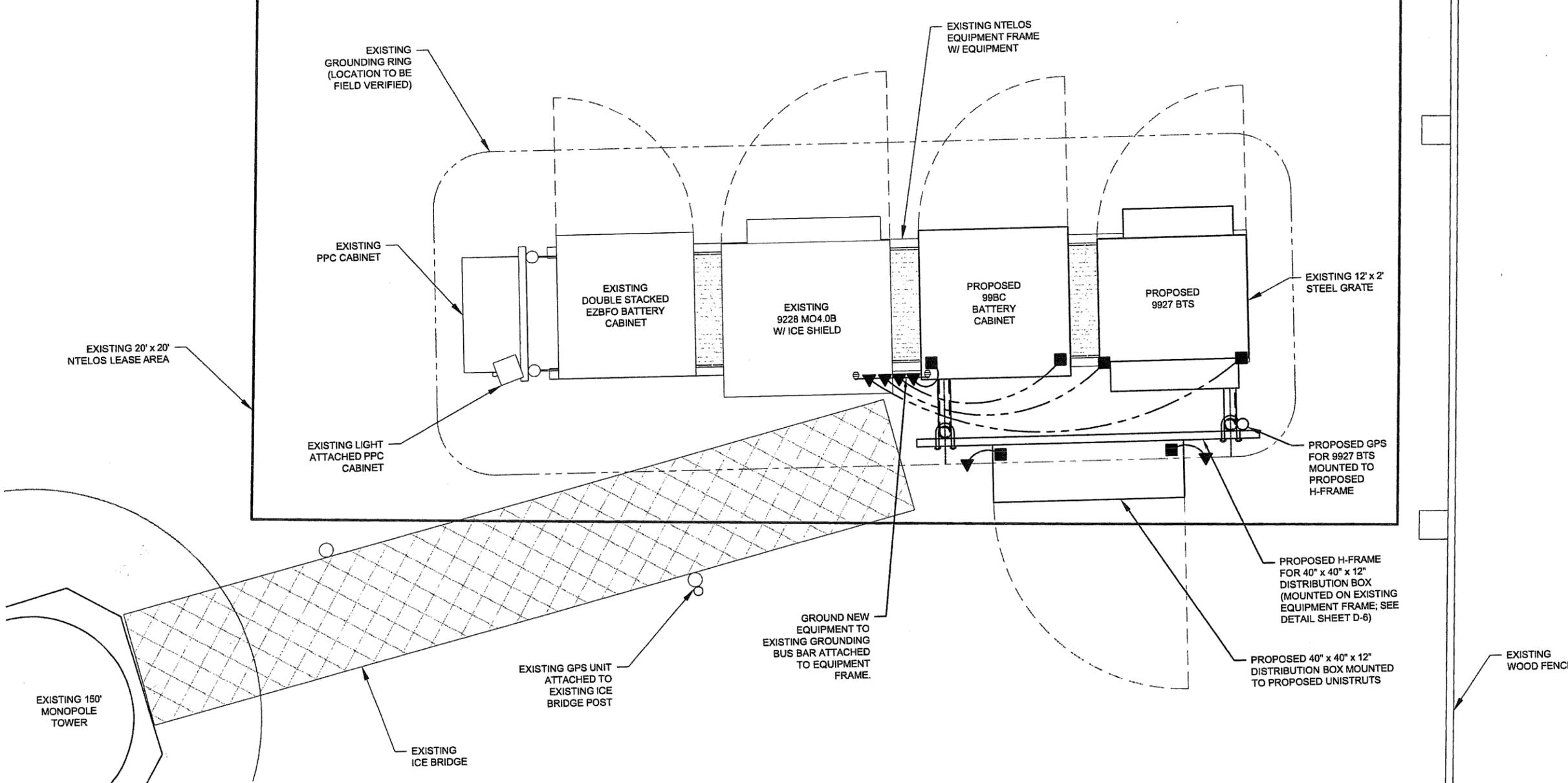
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400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-155615.01

GROUNDING PLAN SHEET
C-4



GRAPHIC SCALE



1 INCH = 2 FEET



ALPHA = RED
 BETA = BLUE
 GAMMA = GREEN

CABLES	
(6) EXISTING 1-5/8" COAX CABLES - 2 PER SECTOR	
(3) HYBRIFLEX CABLES - 1 PER SECTOR (24 SM FIBERS/10x8 AWG)	
(1) NEW 1/2" COAX CABLE FOR MICROWAVE DISH (LCF12-50J)	

HYBRIFLEX CABLE LENGTHS	
TOTAL CABLE LENGTH OF ALPHA SECTOR	167'
TOTAL CABLE LENGTH OF BETA SECTOR	167'
TOTAL CABLE LENGTH OF GAMMA SECTOR	167'

NOTE:
 THE CONTRACTOR SHALL VERIFY
 RF CONFIGURATION WITH NTELOS
 48 HOURS PRIOR TO INSTALLATION
 OF ANY EQUIPMENT.

LEGEND

---	PROPERTY LINE
- - -	TRACT LINE
---	LEASE LINE
---	ROW LINE
-x-x-	EXISTING FENCE LINE
-xx-xx-	PROPOSED FENCE LINE
-G-G-	GAS LINE
-E-E-	OVERHEAD POWER
-T-T-	OVERHEAD TELEPHONE
-UE-UE-	UNDERGROUND POWER
-UT-UT-	UNDERGROUND TELCO.
-E&T-E&T-	OVERHEAD POWER/TELEPHONE
○	5/8" REBAR W/CAP SET
□	FOUND MONUMENTATION
○	CALCULATED POINT
○	EXISTING UTILITY POLE
○	PROPOSED UTILITY POLE

nTelos
 1150 SHENANDOAH VILLAGE DRIVE
 WAYNESBORO, VA 22980

SITE NAME: BROOKSFIELD

SITE NUMBER: RN515

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 2418 POVERTY CREEK ROAD
 BLACKSBURG, VA 24060

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TOWER OWNER:
 CIG COMP TOWER, LLC
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 ATLANTA, GA 30328

LATITUDE: N37° 13' 51.0"

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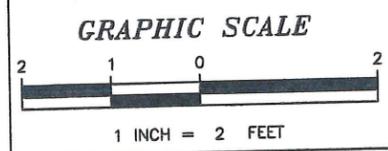
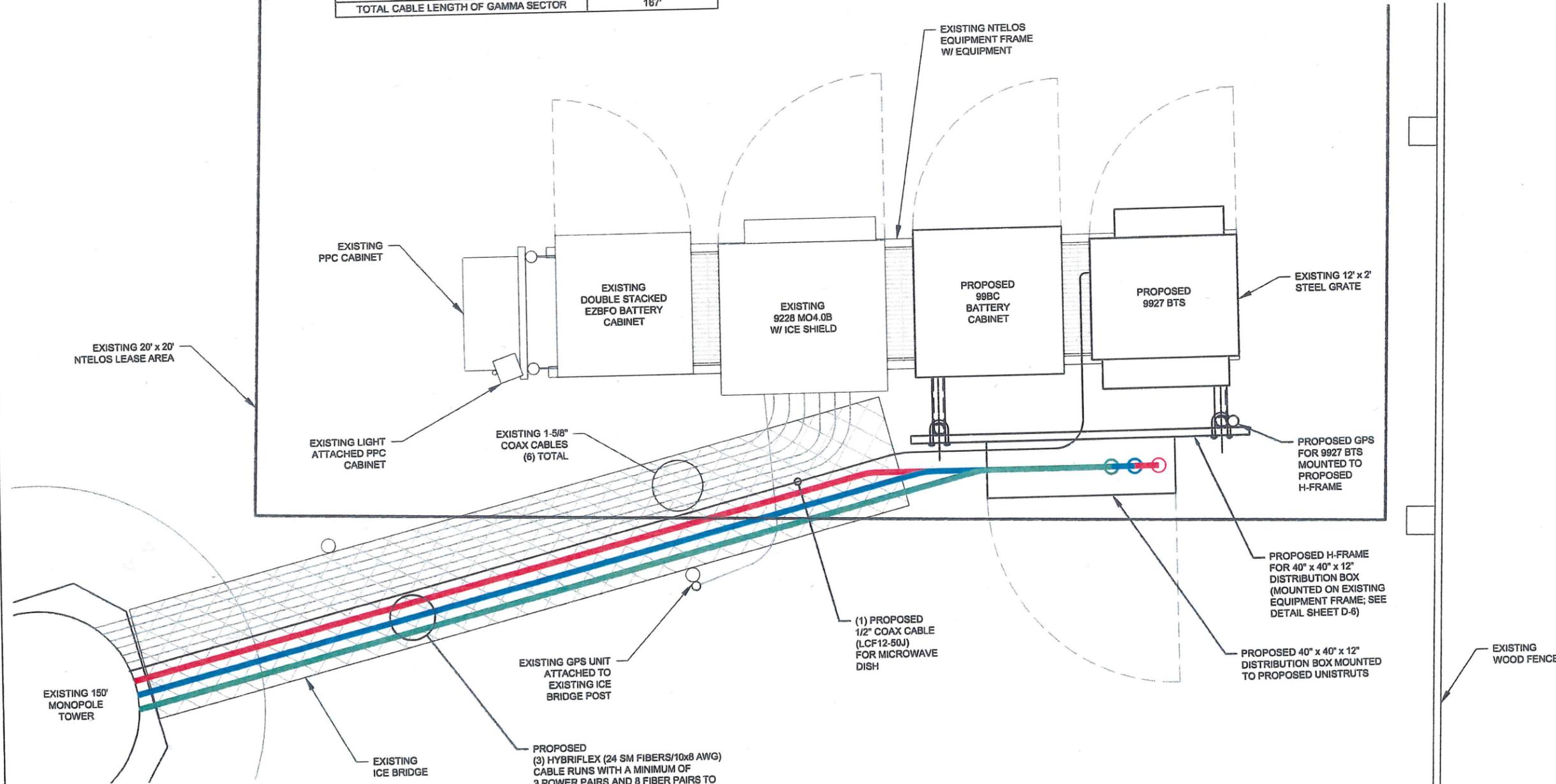
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Mead & i lunt

400 TRACY WAY
 SUITE 200
 CHARLESTON, WV 25311
 (304) 345-6712 PHONE

PROJECT # R4022100-155615.01

HYBRIFLEX CABLE DIAGRAM	SHEET C-5
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1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: BROOKSFIELD

SITE NUMBER: RN515

SITE ADDRESS:
2418 POVERTY CREEK ROAD
BLACKSBURG, VA 24060

AREA:
LEASE AREA = 400 SQ. FT.

TOWER OWNER:
CIG COMP TOWER, LLC
5 CONCOURSE PARKWAY, SUITE 3100
ATLANTA, GA 30328

LATITUDE: N37° 13' 51.0"

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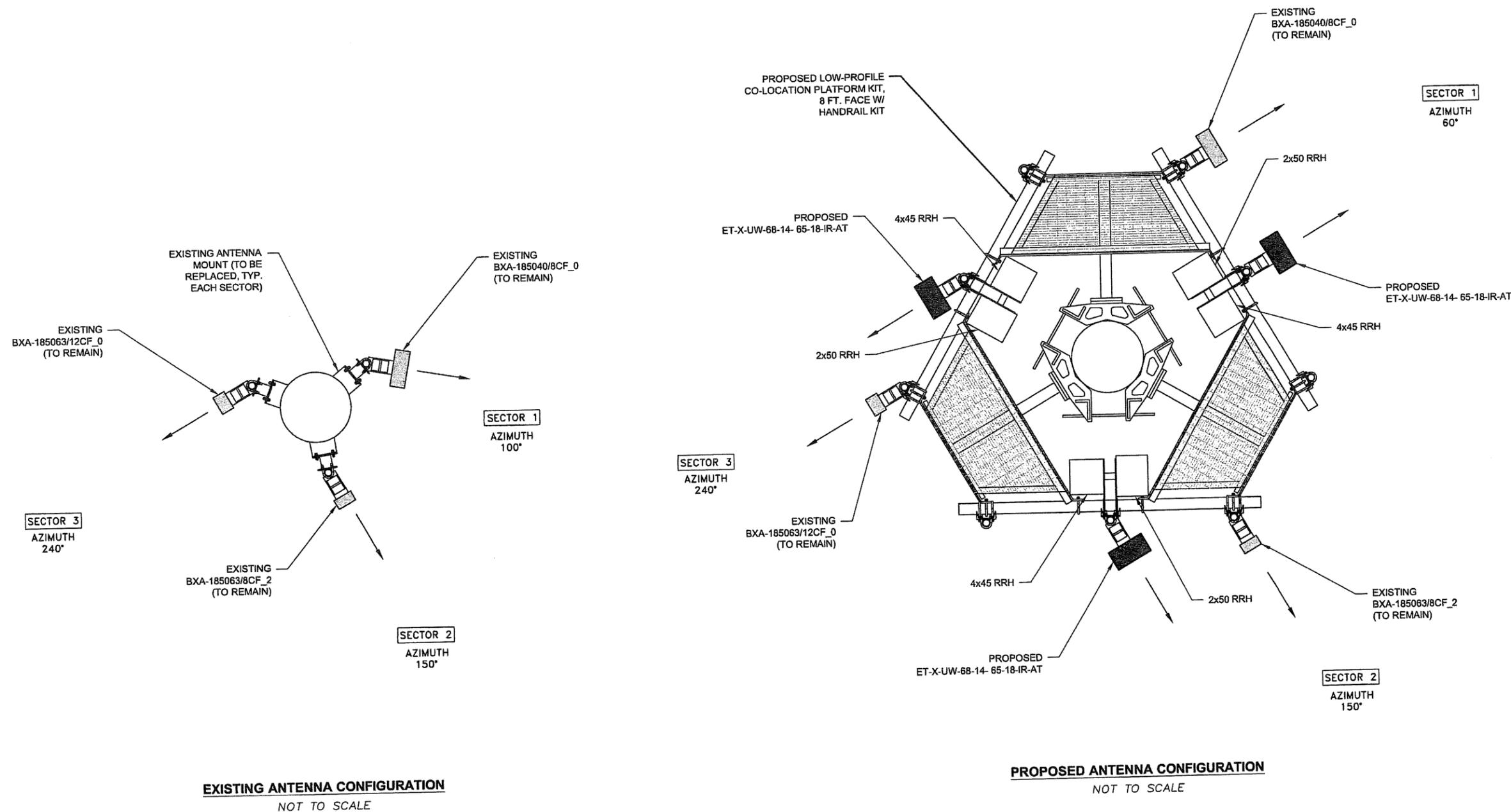
400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-155615.01

ANTENNA CONFIGURATION

SHEET

C-6



EXISTING ANTENNA CONFIGURATION
NOT TO SCALE

PROPOSED ANTENNA CONFIGURATION
NOT TO SCALE

NOTES:

1. THE TOWER AND TOWER FOUNDATION HAS BEEN DESIGNED BY OTHERS.
2. THE CONTRACTOR TO VERIFY THE COAX AND CABLE PLACEMENT WITH A REPRESENTATIVE OF THE OWNER AND/OR CURRENT STRUCTURAL ANALYSIS.
3. ALL COAX LINES TO BE STACKED PER CURRENT STRUCTURAL ANALYSIS.
4. CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWER DESIGN AND/OR CURRENT STRUCTURAL ANALYSIS PERFORMED BY OTHERS.
5. THE CONTRACTOR TO VERIFY ANTENNA INFORMATION 48 HOURS PRIOR TO INSTALLING.
6. THIS DRAWING IS FOR GENERAL INFORMATION ONLY.

NOTE:
THE CONTRACTOR SHALL VERIFY RF CONFIGURATION WITH NTELOS 48 HOURS PRIOR TO INSTALLATION OF ANY EQUIPMENT.

CABLES

- (6) EXISTING 1-5/8" COAX CABLES - 2 PER SECTOR
- (3) HYBRIFLEX CABLES - 1 PER SECTOR (24 SM FIBERS/10x8 AWG)
- (1) NEW 1/2" COAX CABLE FOR MICROWAVE DISH (LCF12-50J)



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: BROOKSFIELD

SITE NUMBER: RN515

SITE ADDRESS:
2418 POVERTY CREEK ROAD
BLACKSBURG, VA 24060

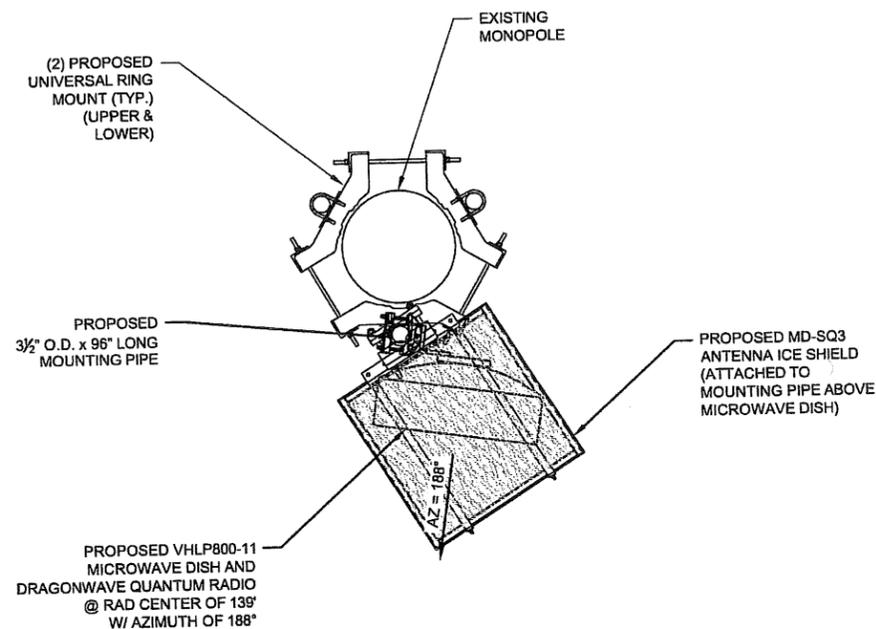
AREA:
LEASE AREA = 400 SQ. FT.

TOWER OWNER:
CIG COMP TOWER, LLC
5 CONCOURSE PARKWAY, SUITE 3100
ATLANTA, GA 30328

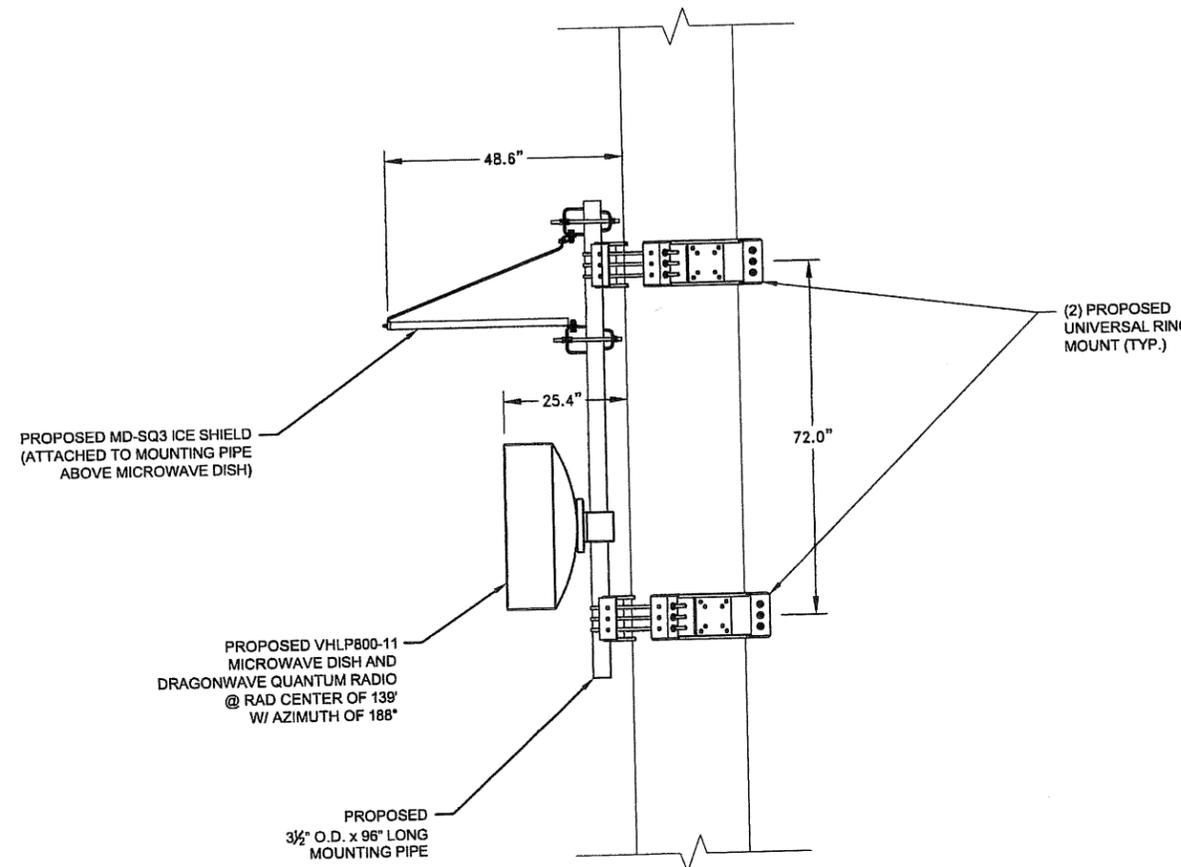
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MICROWAVE DISH ANTENNA CONFIGURATION PLAN VIEW
SCALE: 1" = 3'



MICROWAVE DISH ANTENNA CONFIGURATION PROFILE VIEW
SCALE: 1" = 3'

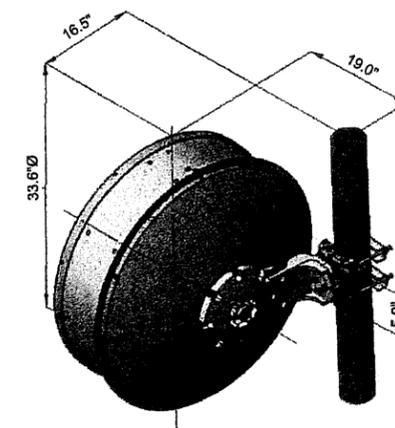
NOTE:
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- (1) NEW 1/2" COAX CABLE FOR MICROWAVE DISH (LCF12-50J)



VHL P800-11 MICROWAVE DISH DIMENSIONS
NOT TO SCALE



400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-155615.01

MICROWAVE DISH CONFIGURATION SHEET
C-6A



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: BROOKSFIELD

SITE NUMBER: RN515

SITE ADDRESS:
2418 POVERTY CREEK ROAD
BLACKSBURG, VA 24060

AREA:
LEASE AREA = 400 SQ. FT.

TOWER OWNER:
CIG COMP TOWER, LLC
5 CONCOURSE PARKWAY, SUITE 3100
ATLANTA, GA 30328

LATITUDE: N37° 13' 51.0"

LONGITUDE: W80° 31' 14.0"

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FOR
ILLUSTRATIVE
PURPOSES
ONLY



400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-155615.01

TOWER ELEVATION	SHEET C-7
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TOP OF LIGHTNING ROD ELEV. = 154'± (AGL)
TOP OF TOWER ELEV. = 150' (AGL)

NTELOS ANTENNAS RAD CENTER ELEV. = 147' (AGL)

PROPOSED MD-SQ3
ANTENNA ICE SHIELD
(ATTACHED TO
MOUNTING PIPE ABOVE
MICROWAVE DISH)

PROPOSED VHP800-11
MICROWAVE DISH AND
DRAGONWAVE QUANTUM RADIO
@ RAD CENTER OF 139'
W/ AZIMUTH OF 188°

PROPOSED
(3) HYBRIFLEX (24 SM FIBERS/10x8 AWG)
CABLE RUNS WITH A MINIMUM OF
3 POWER PAIRS AND 8 FIBER PAIRS TO
SUPPORT LTE OVERLAY WITH BAND
CLASSES 4, 26, AND 41 (1 PER SECTOR)
AND (1) NEW 1/2" COAX CABLE (LCF12-50J)
FOR MICROWAVE DISH.
CABLES TO RUN INSIDE EXISTING
MONOPOLE TOWER.

CABLES
(6) EXISTING 1-5/8" COAX CABLES - 2 PER SECTOR
(3) HYBRIFLEX CABLES - 1 PER SECTOR (24 SM FIBERS/10x8 AWG)
(1) NEW 1/2" COAX CABLE FOR MICROWAVE DISH (LCF12-50J)

NOTES:

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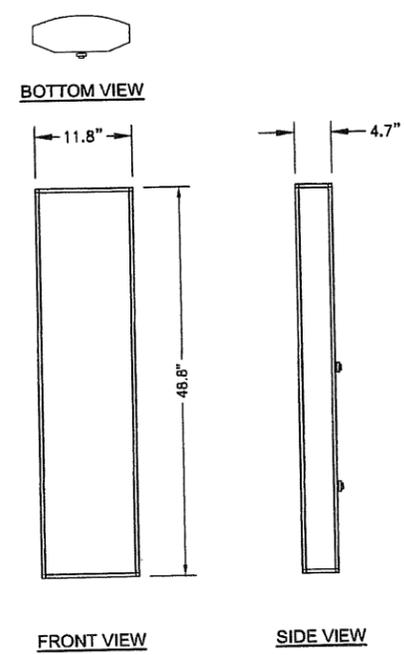
ELEV. 0' (GROUND LEVEL)

TOWER ELEVATION

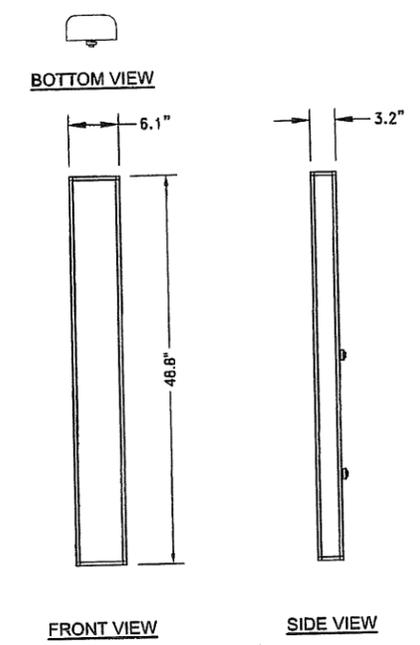


1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

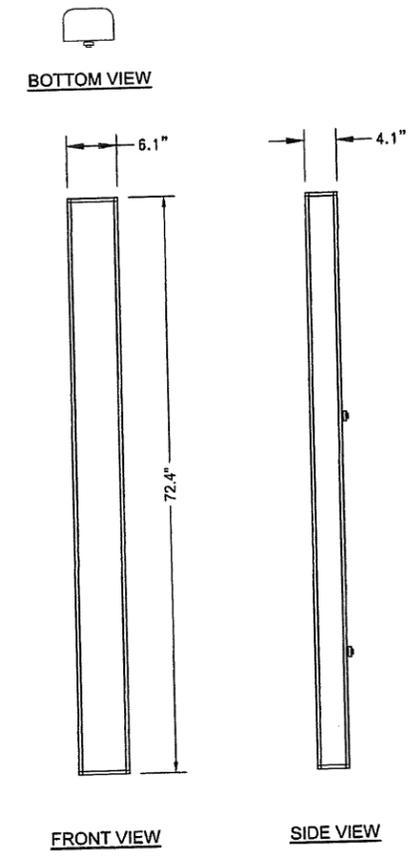
SITE NAME:	BROOKSFIELD	
SITE NUMBER:	RN515	
SITE ADDRESS:	2418 POVERTY CREEK ROAD BLACKSBURG, VA 24060	
AREA:	LEASE AREA = 400 SQ. FT.	
TOWER OWNER:	CIG COMP TOWER, LLC 5 CONCOURSE PARKWAY, SUITE 3100 ATLANTA, GA 30328	
LATITUDE:	N37° 13' 51.0"	
LONGITUDE:	W80° 31' 14.0"	
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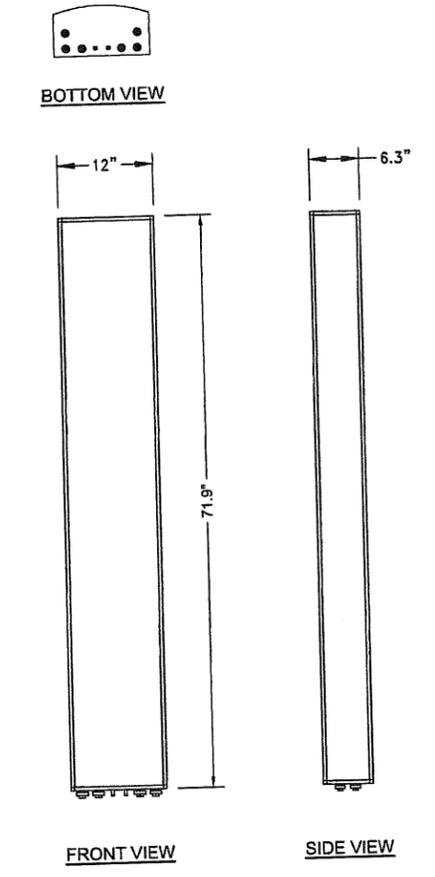
BX-A-185040/8CF 0
NOT TO SCALE
48.8"Lx11.8"Wx4.7"D
13.0 LBS



BX-A-185063/8CF 2
NOT TO SCALE
48.8"Lx6.1"Wx3.2"D
10.0 LBS

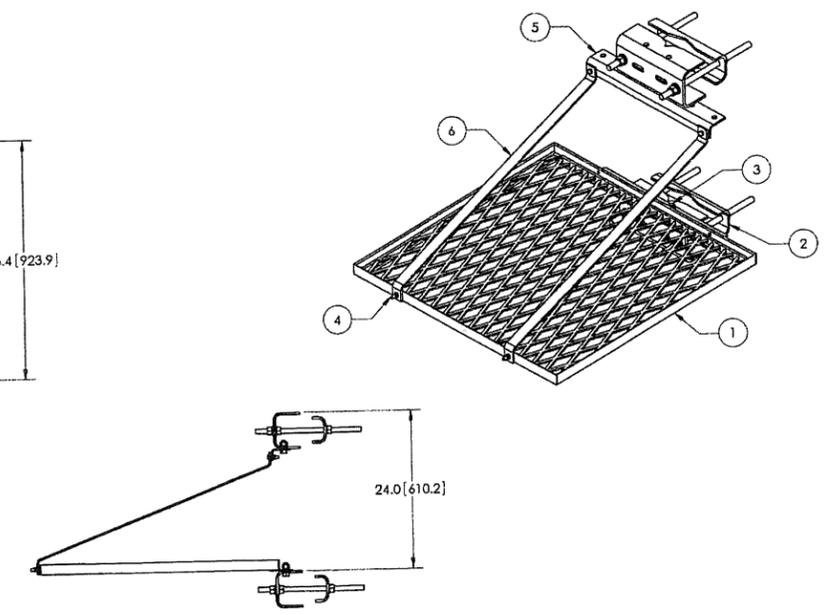
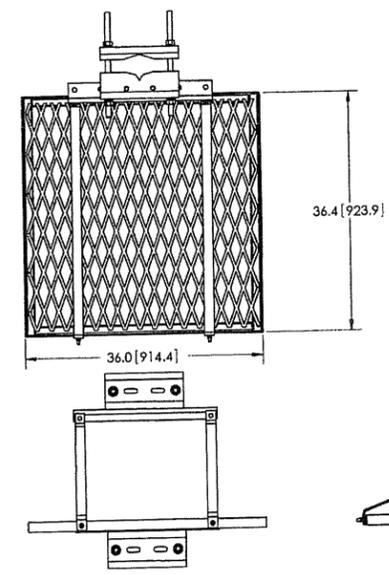


BX-A-185063/12CF 0
NOT TO SCALE
72.4"Lx6.1"Wx4.1"D
15.0 LBS

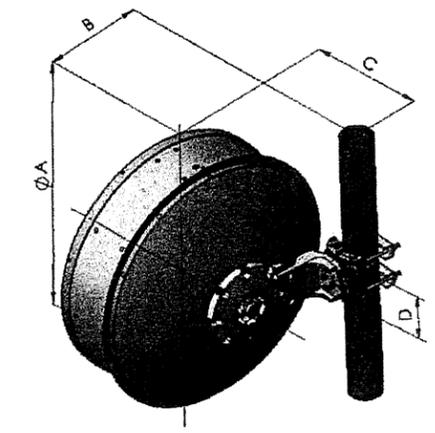
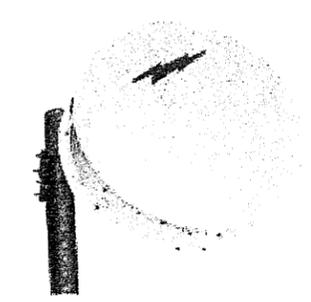


ET-X-UW-68-14-65-18-iR-AT
NOT TO SCALE
71.9"Lx12.0"Wx6.3"D
43.9 LBS

ITEM/PART NO.	DESCRIPTION	QTY.	WEIGHT
1 MDSG301	3' Square Ice Shield	1	40.55 LBS
2 SM-U2080	UNIVERSAL SADDLE MOUNT	1	47.47 LBS
3 GB-05145	5/8" X 1-1/2" GALV BOLT KIT	4	0.04 LBS
4 GB-03145	3/8" X 1-1/2" GALV BOLT KIT	4	0.07 LBS
5 MDSG217	Top Ice Shield Angle	1	6.38 LBS
6 MDSG314	3' Ice Shield Support Brace	2	4.40 LBS



MD-SQ3 ANTENNA ICE SHIELD DETAIL
NOT TO SCALE



DIMENSIONS IN INCHES				
ANTENNA SIZE, FT	A	B	C	D
2.5	33.6	16.5	19.0	5.9

VHLP800-11 DISH ANTENNA

FOR
ILLUSTRATIVE
PURPOSES
ONLY

**Mead
Hunt**
400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-155615.01

ANTENNA DETAILS	SHEET
	C-8

NOTES:
1. ALL METRIC DIMENSIONS ARE IN BRACKETS.



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: BROOKSFIELD

SITE NUMBER: RN515

SITE ADDRESS:
2418 POVERTY CREEK ROAD
BLACKSBURG, VA 24060

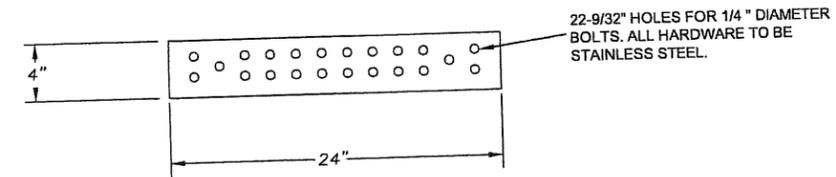
AREA:
LEASE AREA = 400 SQ. FT.

TOWER OWNER:
CIG COMP TOWER, LLC
5 CONCOURSE PARKWAY, SUITE 3100
ATLANTA, GA 30328

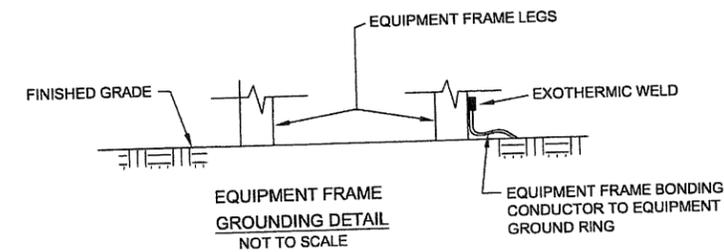
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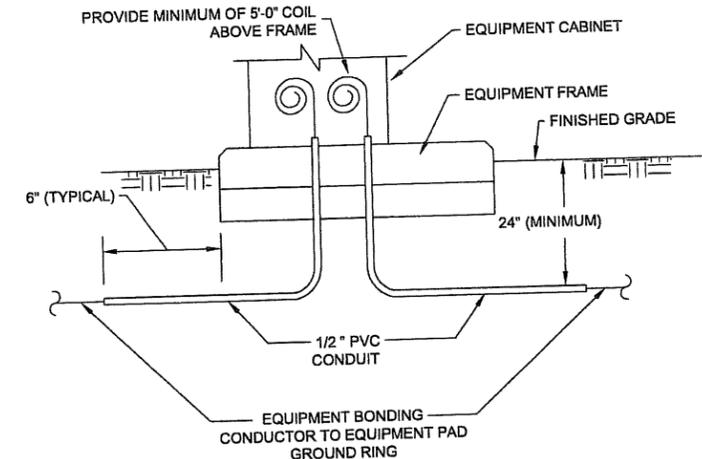
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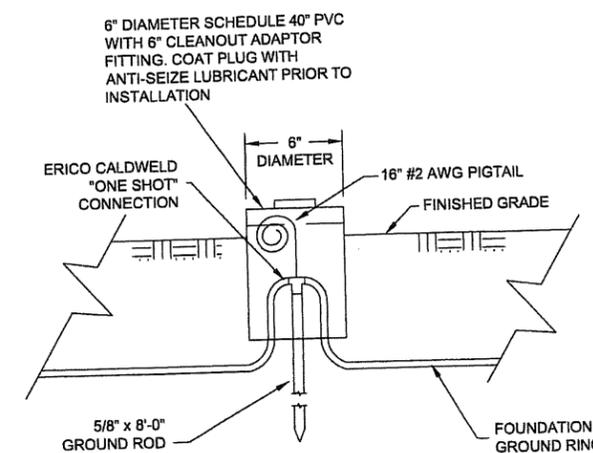
GROUND BAR DETAIL
NOT TO SCALE



EQUIPMENT FRAME
GROUNDING DETAIL
NOT TO SCALE

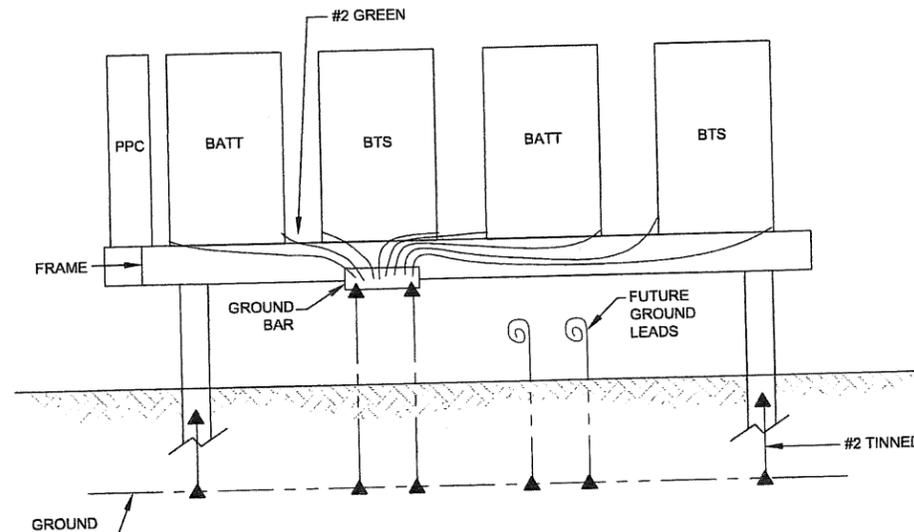


EQUIPMENT BONDING CONDUCTOR
ROUTING DETAIL
NOT TO SCALE

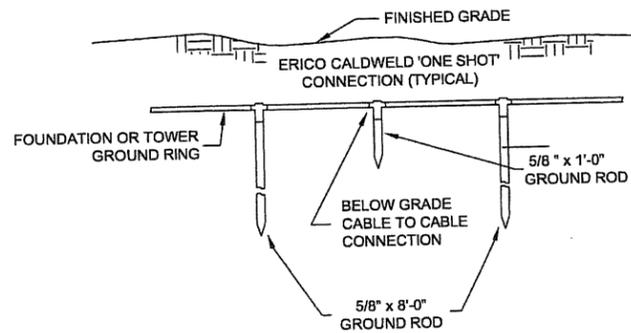


INSPECTION WELL DETAIL
NOT TO SCALE

NOTE:
ALL EXOTHERMIC CONNECTIONS
SHALL BE BELOW GRADE WITH THE
EXCEPTION OF THE GROUND BAR
AND ICE BRIDGE POSTS.



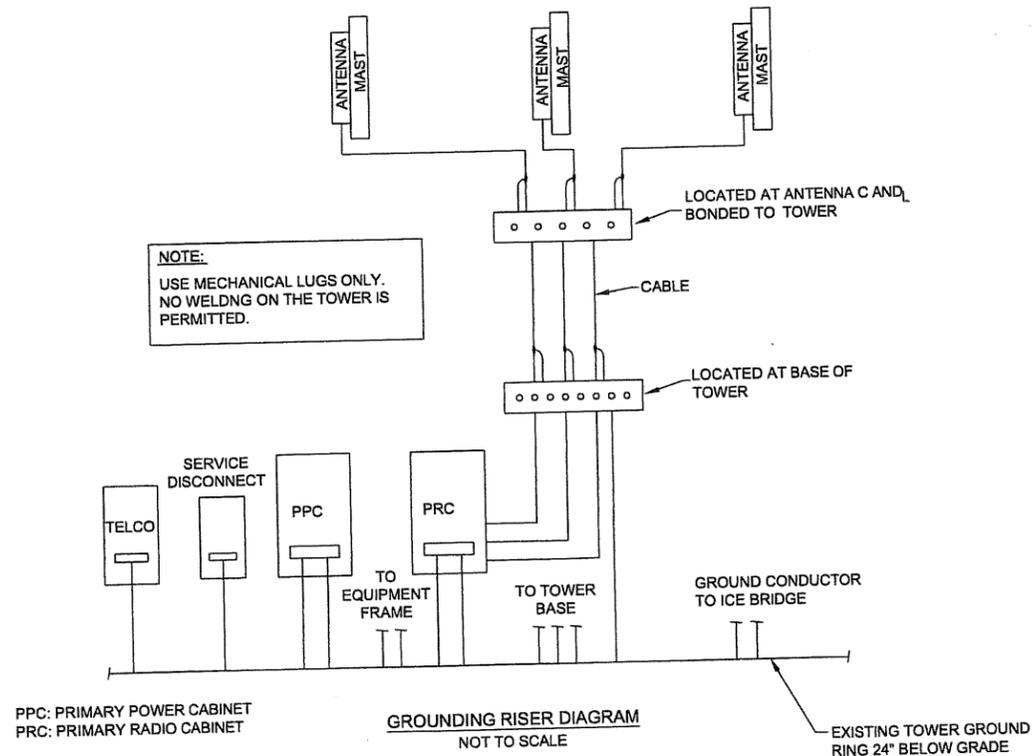
EQUIPMENT BONDING CONDUCTOR
ROUTING DETAIL
NOT TO SCALE



BELOW GRADE
CABLE TO CABLE CONNECTION
DETAIL
NOT TO SCALE

NOTE:
THIS SHEET OF STANDARD DETAILS HAS BEEN
PROVIDED AND IS FOR INFORMATION ONLY.
THE INSTALLATION OF ALL ELECTRICAL
GROUNDING CIRCUITS SHALL BE INSTALLED
AS PER THE CURRENT NATIONAL CODE.

NOTE:
USE MECHANICAL LUGS ONLY.
NO WELDING ON THE TOWER IS
PERMITTED.



GROUNDING RISER DIAGRAM
NOT TO SCALE

PPC: PRIMARY POWER CABINET
PRC: PRIMARY RADIO CABINET

**Mead
Lunt**

400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-155615.01

MISCELLANEOUS
DETAILS

SHEET
D-1



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: BROOKSFIELD

SITE NUMBER: RN515

SITE ADDRESS:
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BLACKSBURG, VA 24060

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ATLANTA, GA 30328

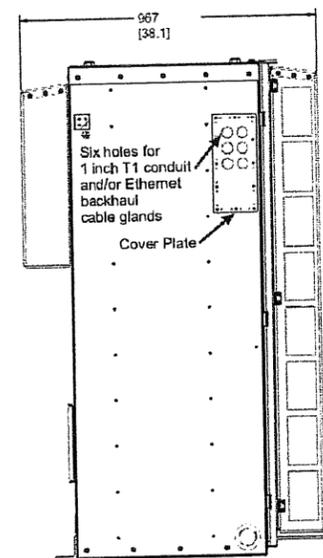
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LONGITUDE: W80° 31' 14.0"

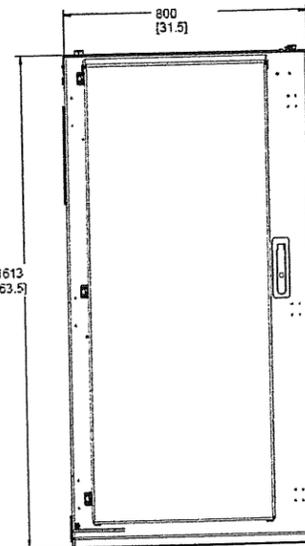
NO.	REVISION/ISSUE	DATE
1	ISSUE FOR COMMENT	04/24/15
2	REISSUE FOR COMMENT	05/14/15
3	ISSUE FOR CONSTRUCTION	05/19/15
4	REISSUE FOR CONSTRUCTION	08/07/15
5	REISSUED	08/21/15

PROPOSED EQUIPMENT DATA								
COMPONENT	MANUFACTURER	MODEL	WIDTH (INCH)	DEPTH (INCH)	HEIGHT (INCH)	QTY	WT. EACH (LBS)	TOTAL WT. (LBS)
BTS CABINET	ALCATEL LUCENT	9927	32	38	63.6	1	634	634
BATTERY CABINET	ALCATEL LUCENT	99BC	31.5	31.2	63.6	1	2640	2640
RADIO HEADS	ALCATEL LUCENT	ALU 4x45	11.1	11.4	25.0	3	59.5	178.5
RADIO HEADS	ALCATEL LUCENT	ALU 2x50	13	9.8	15.7	3	52.9	158.7
ANTENNA	KMW COMMUNICATIONS	ET-X-UW-68-14-65-18-IR-AT	12.0	6.3	71.9	3	43.9	131.7
ANTENNA	COMMSCOPE	VHLP800-11	-	-	31.2	1	49	49
RADIO HEADS	DRAGONWAVE	HORIZON QUANTUM	7.8	3.6	7.8	1	7	7
ICE SHIELD	COMMSCOPE	MD-SQ3	24.0	36.0	36.0	1	125.0	125.0

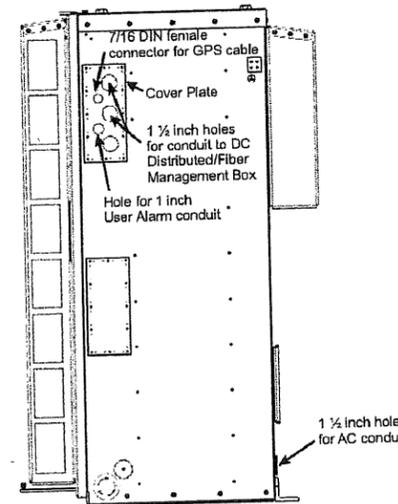
EXISTING ANTENNA DATA								
COMPONENT	MANUFACTURER	MODEL	WIDTH (INCH)	DEPTH (INCH)	HEIGHT (INCH)	QTY	WT. EACH (LBS)	TOTAL WT. (LBS)
ANTENNA	AMPHENOL	BXA-185040/BCF_0	11.8	4.7	48.8	1	13.0	13.0
ANTENNA	AMPHENOL	BXA-185063/BCF_2	6.1	3.2	48.8	1	10.0	10.0
ANTENNA	AMPHENOL	BXA-185063/12CF_0	6.1	4.1	72.4	1	15.0	15.0



LEFT SIDE VIEW



FRONT VIEW



RIGHT SIDE VIEW

9927 LTE CABINET DETAIL
NOT TO SCALE

Mead Hunt

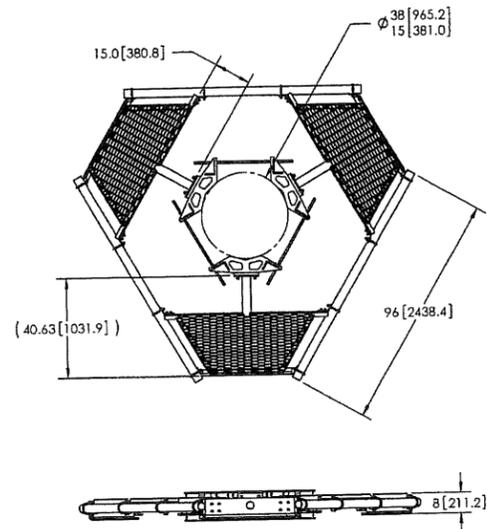
400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-155615.01

MISCELLANEOUS
DETAILS

SHEET
D-2

ITEM	PART NO.	DESCRIPTION	QTY.	WEIGHT
1	MC-RM1550-3	12" - 50" OD RINGMOUNT	1	203.94 LBS
2	MIC300601	Low Profile Co-Location Platform Snub Nose	3	130.90 LBS
3	MT196.17	MT196 Pipe Mount Plate	6	2.49 LBS
4	MTS4796	Ø 3.5" O.D. X 96" PIPE	3	37.68 LBS
5	GUB-4355	1/2" X 3-5/8" X 5" GALV U-BOLT	12	1.30 LBS
6	GB-0520A	5/8" X 2" GALV BOLT KIT (A325)	12	0.27 LBS
7	GB-04145	1/2" X 1-1/2" GALV BOLT KIT	12	0.13 LBS
8	GW-F04	1/2" GALV FLAT WASHER	12	0.06 LBS

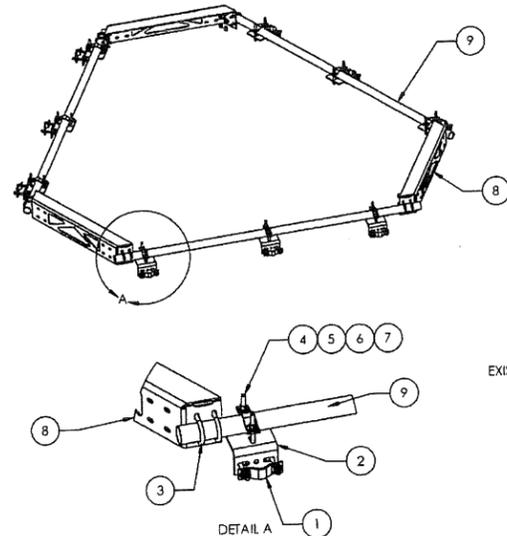


NOTES:
 1. ALL METRIC DIMENSIONS ARE IN BRACKETS.
 2. WILL FIT MONOPOLES 15" - 38" OD.

MC-PK8-B LOW PROFILE CO-LOCATION PLATFORM KIT, 8 FT FACE DETAIL

NOT TO SCALE

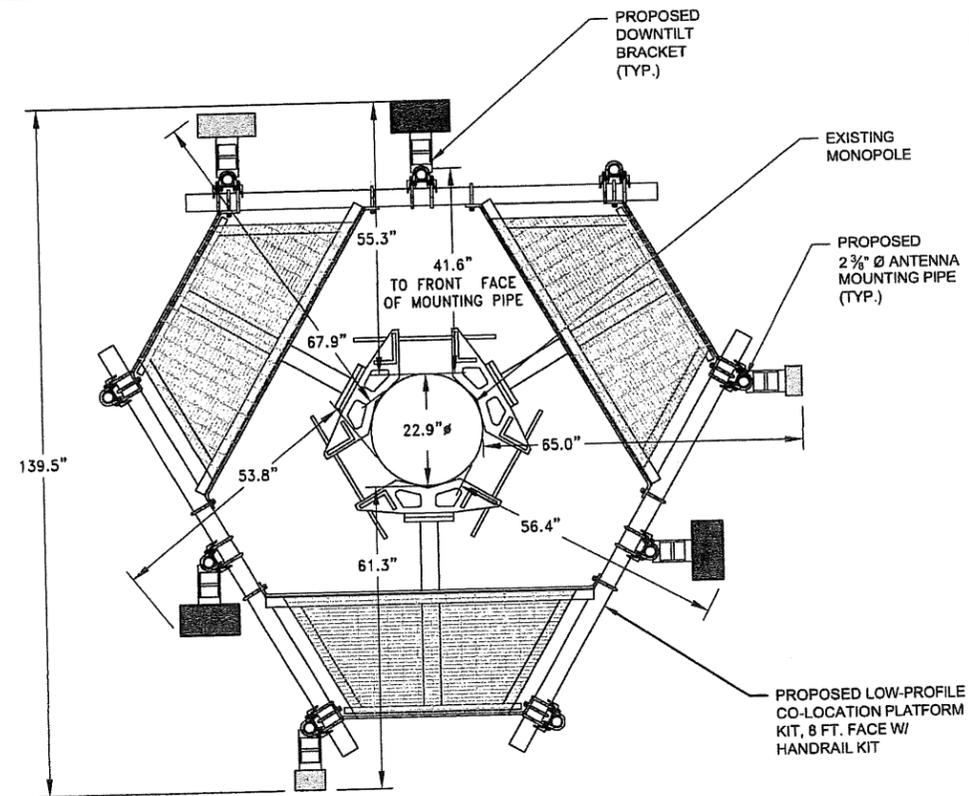
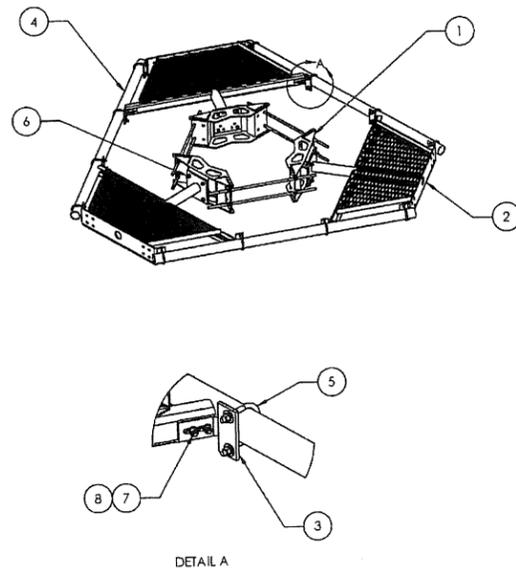
ITEM	PART NO.	DESCRIPTION	QTY.	WEIGHT
1	ACP10	1.5" - 3.5" O.D. CLAMP HALF	18	0.61 LBS
2	XAU01	Angle BRK	9	3.59 LBS
3	GUB-4240	1/2" X 2-1/2" X 4" GALV U-BOLT	12	0.56 LBS
4	MT-379-6	1/2" X 6" GALV THREADED ROD	36	0.33 LBS
5	MT-F04	1/2" GALV FLAT WASHER	72	0.03 LBS
6	GW-L04	1/2" GALV LOCK WASHER	72	0.01 LBS
7	GN-04	1/2" GALV HEX NUT	72	0.04 LBS
8	MT195801	Corner Weldment Snub Nose Handrail	3	27.10 LBS
9	MT-651-96	Ø 2.375" OD X 96" PIPE	3	29.07 LBS



NOTES:
 1. ALL METRIC DIMENSIONS ARE IN BRACKETS.

HANDRAIL FOR MC-PK8 DETAIL

NOT TO SCALE



HORIZONTAL DISTANCE OF MOUNTING PIPE FROM MONOPOLE DETAIL

SCALE: 1" = 3'



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: BROOKSFIELD

SITE NUMBER: RN515

SITE ADDRESS:
2418 POVERTY CREEK ROAD
BLACKSBURG, VA 24060

AREA:
LEASE AREA = 400 SQ. FT.

TOWER OWNER:
CIG COMP TOWER, LLC
5 CONCOURSE PARKWAY, SUITE 3100
ATLANTA, GA 30328

LATITUDE: N37° 13' 51.0"

LONGITUDE: W80° 31' 14.0"

NO.	REVISION/ISSUE	DATE
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5	REISSUED	08/21/15



400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-155615.01

MISCELLANEOUS DETAILS SHEET D-3



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: BROOKSFIELD

SITE NUMBER: RN515

SITE ADDRESS:
2418 POVERTY CREEK ROAD
BLACKSBURG, VA 24060

AREA:
LEASE AREA = 400 SQ. FT.

TOWER OWNER:
CIG COMP TOWER, LLC
5 CONCOURSE PARKWAY, SUITE 3100
ATLANTA, GA 30328

LATITUDE: N37° 13' 51.0"

LONGITUDE: W80° 31' 14.0"

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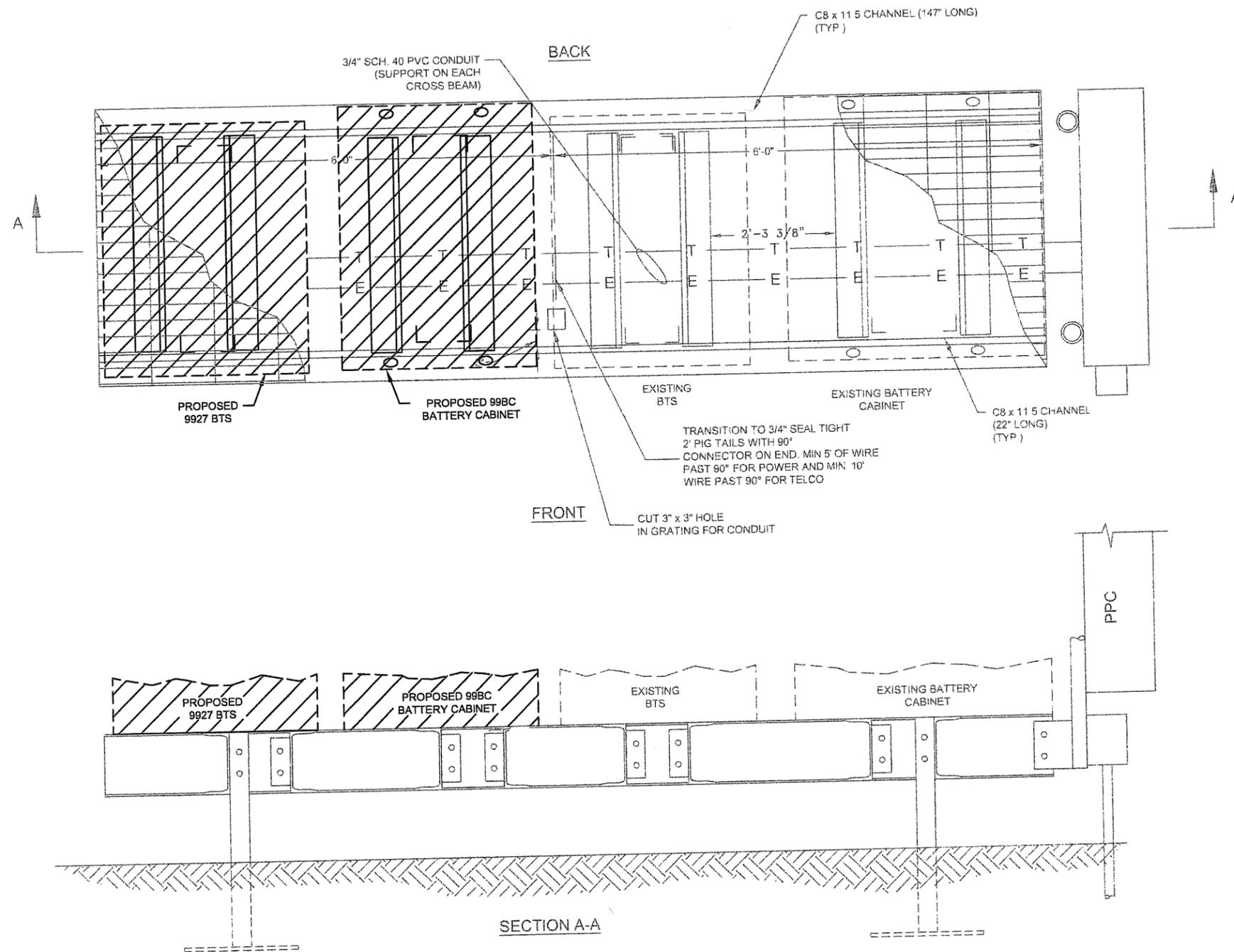


400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-155615.01

MISCELLANEOUS
DETAILS

SHEET
D-4



NOTE:
EQUIPMENT FRAME AND
FOUNDATION DESIGNED BY
OTHERS.



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: BROOKSFIELD

SITE NUMBER: RN515

SITE ADDRESS:
2418 POVERTY CREEK ROAD
BLACKSBURG, VA 24060

AREA:
LEASE AREA = 400 SQ. FT.

TOWER OWNER:
CIG COMP TOWER, LLC
5 CONCOURSE PARKWAY, SUITE 3100
ATLANTA, GA 30328

LATITUDE: N37° 13' 51.0"

LONGITUDE: W80° 31' 14.0"

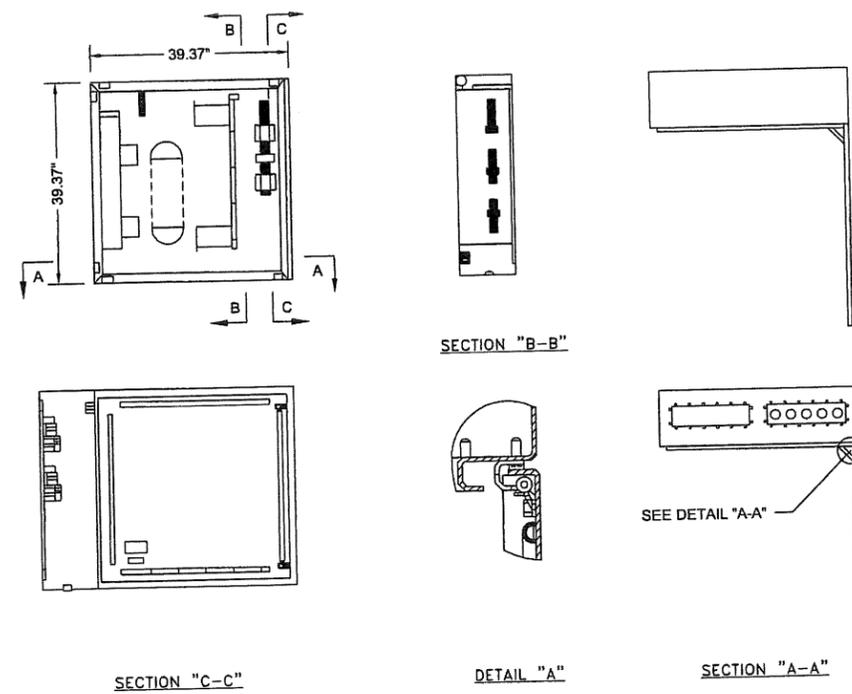
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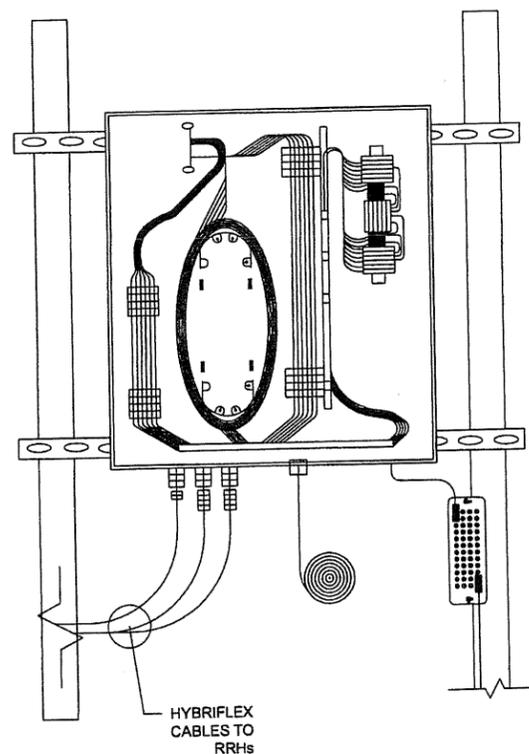
400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-155615.01

MISCELLANEOUS DETAILS	SHEET
	D-5



DISTRIBUTION BOX PLAN VIEW
NO SCALE



DISTRIBUTION BOX ELEVATION VIEW
NO SCALE



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: BROOKSFIELD

SITE NUMBER: RN515

SITE ADDRESS:
2418 POVERTY CREEK ROAD
BLACKSBURG, VA 24060

AREA:
LEASE AREA = 400 SQ. FT.

TOWER OWNER:
CIG COMP TOWER, LLC
5 CONCOURSE PARKWAY, SUITE 3100
ATLANTA, GA 30328

LATITUDE: N37° 13' 51.0"

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Mead Hunt

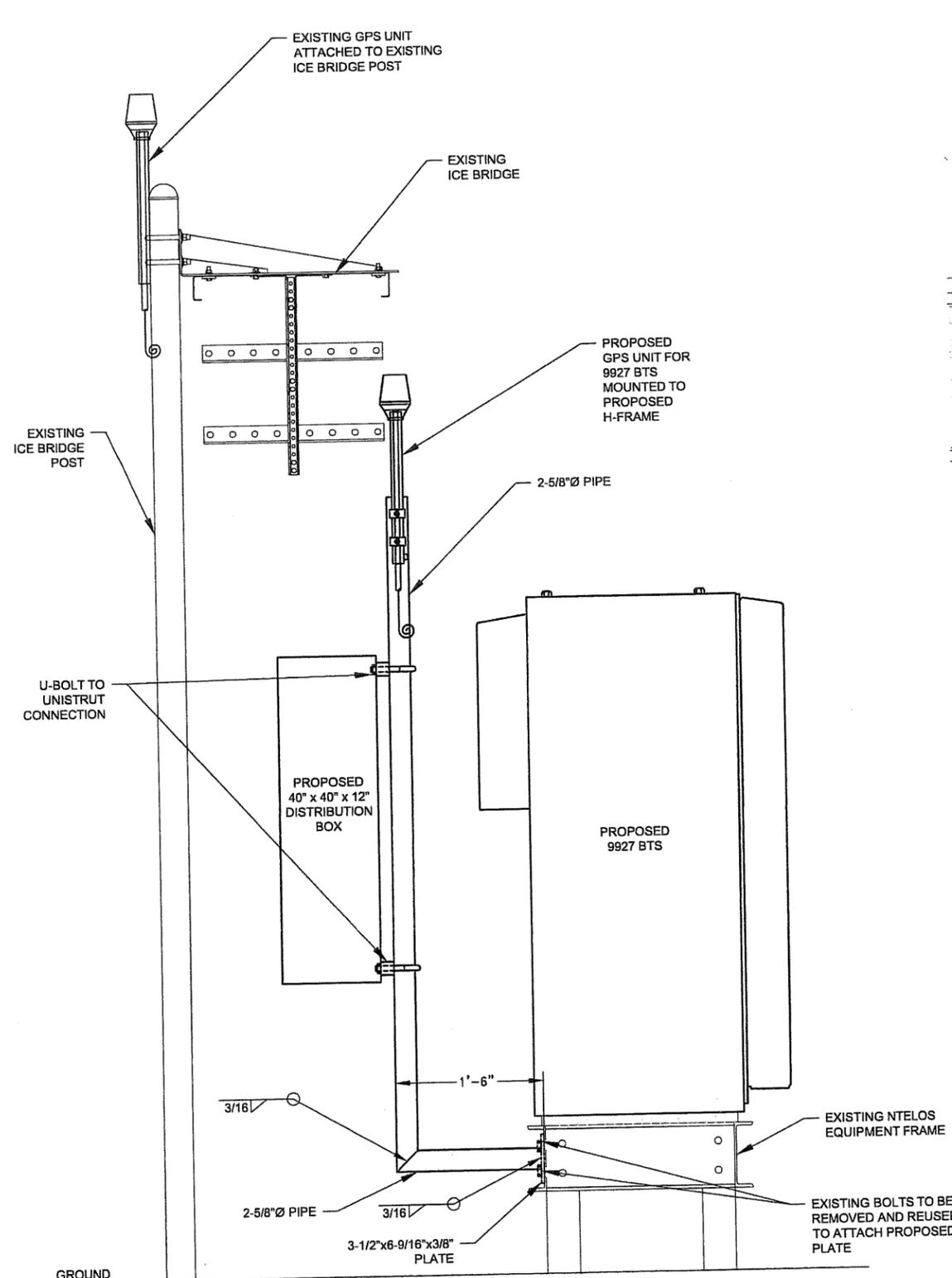
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CHARLESTON, WV 25311
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PROJECT # R4022100-155615.01

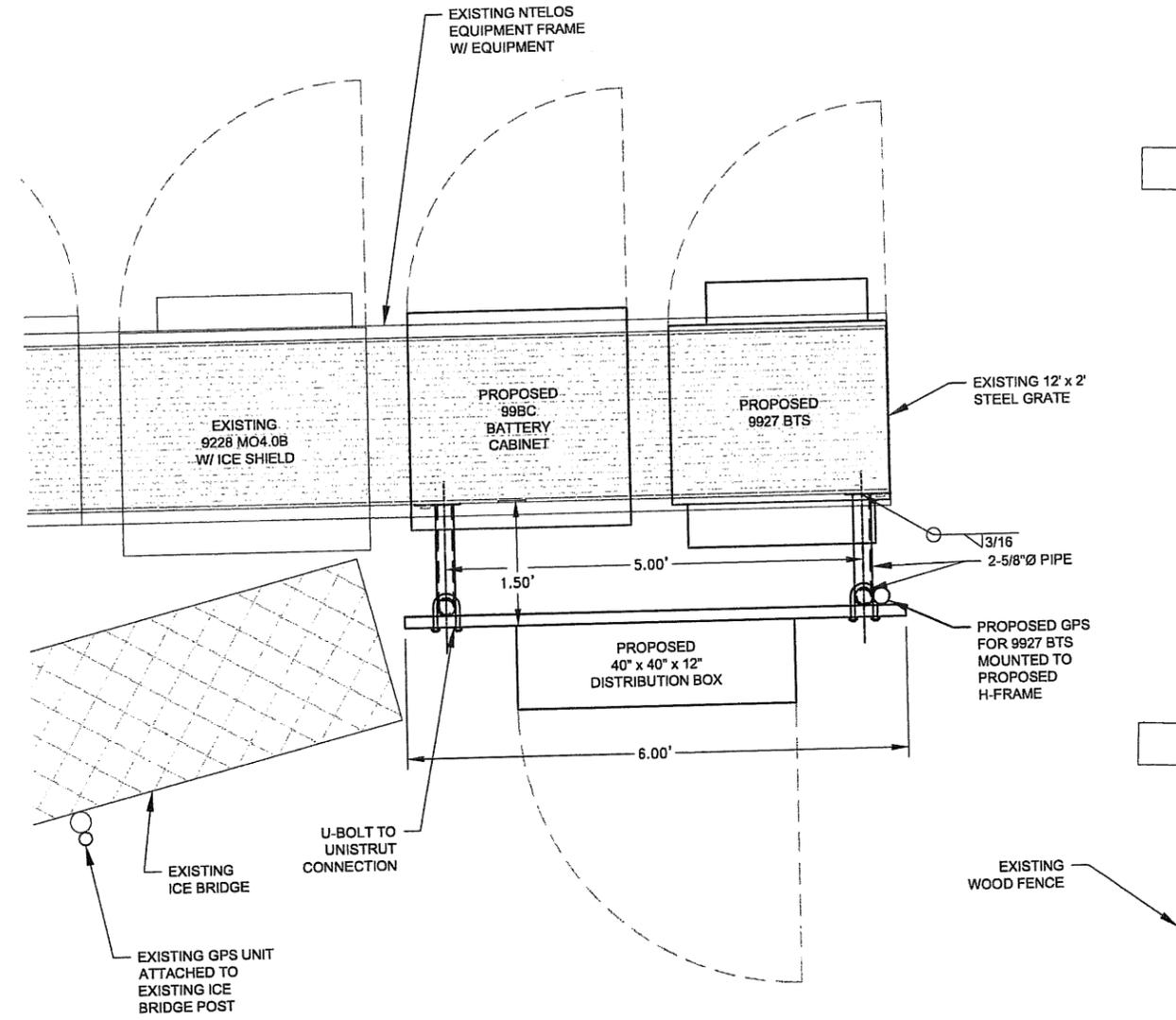
MISCELLANEOUS
DETAILS

SHEET

D-6



H-FRAME ELEVATION DETAIL (SIDE)
NOT TO SCALE



H-FRAME PLAN VIEW
NOT TO SCALE

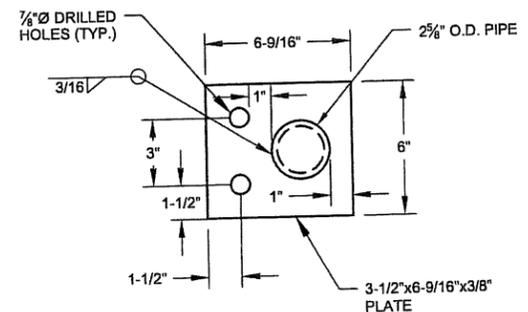
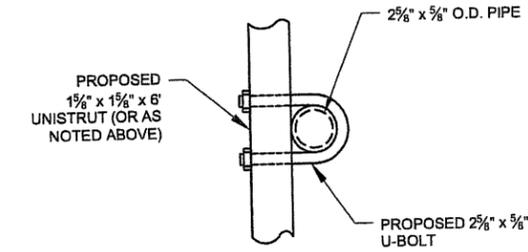


PLATE DETAIL
NOT TO SCALE



UNISTRUT ATTACHMENT DETAIL
NOT TO SCALE

GENERAL NOTES - ELECTRIC WORK

A. WORK INCLUDED:

THIS SPECIFICATION AND ACCOMPANYING DRAWINGS CONTEMPLATES THE PROVISIONS AND INSTALLATION REQUIRED BY THE ELECTRICAL CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE THE INSTALLATION OF THE ELECTRICAL WORK IN CONNECTION WITH NTELOS' TOWER SITE AND SHALL INCLUDE, BUT MAY NOT BE LIMITED TO, THE FOLLOWING:

1. THE PROVISIONS FOR THE INSTALLATION AND CONNECTION OF A GROUNDING ELECTRODE SYSTEM COMPLETE WITH A EQUIPMENT CABINET AND SECONDARY GROUNDING, EXISTING TOWER GROUNDING, AND CONNECTIONS TO THE INCOMING ELECTRICAL DISTRIBUTION EQUIPMENT.
2. THE PROVISIONS FOR THE INSTALLATION OF AN ELECTRICAL SERVICE AND ALL ASSOCIATED CONDUIT AND WIRING AS REQUIRED.
3. ALL UNDERGROUND CONDUITS SHALL BE SCHEDULE 40 PVC. (UNLESS OTHERWISE NOTED)
4. ALL SPARE CONDUITS SHALL BE LEFT WITH A PULL WIRE FOR FUTURE USE. STUB BOTH ENDS OF SPARE CONDUIT 12 INCHES ABOVE FINISHED GRADE AND INSTALL PLUGS AT BOTH ENDS.
5. THE CONTRACTOR SHALL FURNISH AND INSTALL THE ELECTRICAL SERVICE ENTRANCE CONDUCTORS AND CONDUIT, AND MAKE THE CONNECTION TO THE SERVICE EQUIPMENT WITHIN THE EQUIPMENT CABINET.
6. THE CONTRACTOR SHALL FURNISH AND INSTALL A 200 lb TEST PULL LINE IN ALL SPARE CONDUIT.
7. THE CONTRACTOR SHALL NOTIFY THE ELECTRICAL AND TELEPHONE SERVICE CONTACTS AT THE START OF CONSTRUCTION.
8. THE ABOVE GRADE CONDUIT RISERS SHALL BE GALVANIZED STEEL WITH MATCHING FITTINGS.
9. THE CONTRACTOR SHALL PERFORM ALL WORK SHOWN ON THE EQUIPMENT DRAWINGS, NOTED FIELD WORK, AND/OR AS OTHERWISE NOTED TO BE COMPLETED IN THE FIELD.
10. ALL WIRE SHALL BE (COPPER, 600V THHW, 90°C) UNLESS NOTED OTHERWISE.
11. THE CONTRACTOR SHALL MAINTAIN A DISTANCE OF 12 INCHES BETWEEN EXISTING/NEW TELCO & ELECTRIC CONDUITS UNLESS NOTED OTHERWISE.
12. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF THE PROPOSED GROUNDING SYSTEM PRIOR TO TRENCHING.

B. CODES, PERMITS AND FEES:

1. ALL REQUIRED PERMITS, LICENSES, INSPECTIONS AND APPROVALS SHALL BE SECURED AND ALL ASSOCIATED FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. THE INSTALLATION SHALL COMPLY WITH ALL STATE, LOCAL, AND NATIONAL APPLICABLE CODES AND ORDINANCES RELATIVE TO THE DESIGN.
3. PERFORMANCE CHARACTERISTICS AND METHODS OF CONSTRUCTION OF ALL ITEMS AND EQUIPMENT, SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE VARIOUS APPLICABLE STANDARDS SPECIFICATIONS OF THE FOLLOWING RECOGNIZED AUTHORITIES:
 A.N.S.I. - AMERICAN NATIONAL STANDARDS INSTITUTE
 I.E.E.E. - INSTITUTE OF ELECTRICAL AND ELECTRONIC ENGINEERS
 N.E.C. - NATIONAL ELECTRIC CODE
 N.E.M.A. - NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
 N.F.P.A. - NATIONAL FIRE PROTECTION ASSOCIATION
 U.L. - UNDERWRITERS LABORATORIES, INC.
4. THE CONTRACTOR SHALL BE LICENSED TO PERFORM WORK IN THE STATE, CITY, OR COUNTY IN WHICH THE WORK IS TO BE PERFORMED.

C. GROUNDING ELECTRODE SYSTEM

1. CONNECTIONS

ALL GROUNDING CONNECTIONS SHALL BE MADE UTILIZING AN EXOTHERMIC WELDED PROCESS (CADWELD OR APPROVED EQUAL), UNLESS OTHERWISE SHOWN. CONNECTIONS SHALL INCLUDE ALL CABLE TO CABLE, SPLICES, TEE'S, X'S, ETC. ALL CABLE TO GROUND RODS, GROUND ROD SPLICES, AND LIGHTING PROTECTION SYSTEM AS INDICATED. ALL MATERIALS USED (MOLDS, WELDING METAL, TOOLS, ETC.) SHALL BE CADWELDED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES.

2. GROUND RODS

ALL GROUND RODS SHALL BE 5/8" INCH STAINLESS STEEL OR COPPER CLAD STEEL COPPERWELD OR APPROVED EQUAL. THE MINIMUM NUMBER OF GROUNDING RODS REQUIRED SHALL BE THE NUMBER AS SHOWN AND AT THE LOCATIONS AS INDICATED ON THE PLANS. GROUNDING RODS SHALL BE DRIVEN VERTICALLY IN UNDISTURBED EARTH FOR ITS FULL LENGTH SO THAT THE TOP IS 24 INCHES BELOW FINISHED GRADE. ALL GROUND RODS SHALL BE AT LEAST 8 FEET APART UNLESS OTHERWISE NOTED.

3. GROUNDING LEADS

ALL GROUND LEADS CONNECTED TO BURIED GROUND RINGS SHALL BE #2 AWG TINNED SOLID COPPER. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF 6 FEET OF #2 AWG TINNED SOLID COPPER COILED AT EACH EQUIPMENT CABINET, COAX ENTRY GROUND BAR, PIPE BRIDGE SUPPORT FOUNDATIONS, AND TOWER FOUNDATIONS FOR TERMINATION BY THE ELECTRICAL CONTRACTOR. AFTER CABINET INSTALLATION, THE ELECTRICAL CONTRACTOR SHALL SPLICE GROUND RING LEAD TO #2 AWG INSULATED STRANDED COPPER WIRE SUPPLIED WITH CABINET.

4. GROUND RING

THE GROUND RING REQUIRED TO GROUND THE EQUIPMENT FRAME SHALL BE #2 AWG TINNED SOLID COPPER CABLE IN DIRECT CONTACT WITH THE EARTH AT A DEPTH OF NOT LESS THAN 24 INCHES. CONDUCTOR BENDS SHALL HAVE A MINIMUM RADIUS OF 12 INCHES. A 2 FOOT CLEARANCE FROM ANY FOUNDATION OR SIDEWALK SHALL BE MAINTAINED.

5. BACKFILL

BACK FILL MATERIAL SHALL BE NON-CORROSIVE, LOW RESISTIVITY MATERIAL, FREE OF STONE, DEBRIS, ETC. AND TAMPED DOWN THOROUGHLY IN LAYERS NOT EXCEEDING SIX (6) INCHES IN DEPTH, AND COMPACTED TO AT LEAST 95% OF ITS ORIGINAL DENSITY BEFORE EXCAVATION.

6. MISCELLANEOUS

ALL EXTERIOR METAL SHALL BE CONNECTED TO THE GROUNDING SYSTEM WITH HIGH PRESSURE 2-BOLD LUG BY BURNDY OR BY THE EXOTHERMIC WELDED PROCESS (CADWELD OR APPROVED EQUAL) AS APPLICABLE. ALL OTHER CONNECTIONS FOR THE GROUND GRID SYSTEM SHALL BE MADE BY THE EXOTHERMIC WELDED PROCESS (CADWELD OR APPROVED EQUAL) AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND PROCEDURES. ALL MECHANICAL FASTENER CONNECTIONS CONNECTED TO GROUND BARS SHALL BE LUBRICATED WITH A CORROSION INHIBITOR; THOMAS AND BETTS KOPR - SHIELD.

7. UTILITY COMPANY COORDINATION

ELECTRICAL CONTRACTOR SHALL COMPLETE ALL WORK IN ACCORDANCE WITH THE RULES AND GUIDELINES OF THE LOCAL UTILITY COMPANY. BEFORE SUBMITTING HIS BID, THE CONTRACTOR SHALL CHECK WITH THE UTILITY COMPANIES SUPPLYING SERVICE TO THE PROJECT AND SHALL DETERMINE ALL REQUIRED EQUIPMENT AND SERVICE CHARGES AND SHALL INCLUDE IT IN HIS BID COST.

8. GROUND TEST

GROUND TESTS SHALL BE PERFORMED UTILIZING A BIDDLE GROUND OHMER OR THE METHOD OF USING TWO AUXILIARY GROUND RODS MAY BE USED AS DESCRIBED IN I.E.E.E. STANDARD No. 550, PARAGRAPH 3.42. THE I.E.E.E. METHOD REQUIRES THE USE OF AN A.C. TEST CURRENT. THE AUXILIARY TEST RODS MUST BE AT A SUFFICIENT DISTANCE AWAY FROM THE ROD UNDER TEST SO THAT THE REGIONS IN WHICH THEIR RESISTANCE IS LOCATED DOES NOT OVERLAP. THE CONTRACTOR SHALL MAINTAIN CONTINUITY OF ANY EXISTING GROUND RING BY SPLICING (VIA CADWELD) ANY CUT OR BROKEN SECTIONS WITH #2 SOLID TINNED COPPER TO THE EXISTING OR NEW GROUNDING SYSTEM.

D. TESTING

1. ALL TEST SHALL BE PERFORMED BY AUTHORIZED AND QUALIFIED PERSONNEL.
2. THE CONTRACTOR SHALL CONDUCT GROUND RESISTANCE TEST IN THE FORMAT AS FOLLOWS: TESTS SHALL BE PERFORMED UNDER DRY SOIL CONDITIONS WITH THE GROUND RODS CONNECTED AND WHEN NO STANDING OR GROUND WATER HAS BEEN PRESENT FOR THE PAST TEN DAYS. IF THE RESISTANCE OF THE ENTIRE SYSTEM EXCEEDS 5 OHMS, THE ELECTRICAL CONTRACTOR AND OWNER'S REPRESENTATIVE SHOULD BE NOTIFIED SO THAT ADDITIONAL AND/OR DEEPER RODS CAN BE INSTALLED.
3. THE CONTRACTOR SHALL CALL AN NTELOS REPRESENTATIVE FOR INSPECTION OF THE GROUNDING SYSTEM 48 HOURS PRIOR TO ITS COMPLETION. THE SYSTEM SHALL BE LEFT UNCOVERED UNTIL APPROVED.
4. UPON COMPLETION OF THE GROUNDING SYSTEM, THE ELECTRICAL CONTRACTOR SHALL MEGGER TEST THE GROUND SYSTEM. THE TEST IS TO BE PERFORMED BEFORE CONNECTING IT TO THE TOWER RING AND THEN AGAIN THEREAFTER. MAXIMUM RESISTANCE LEVEL IS 5 OHMS. THE LOCATION, DATE, TIME, WEATHER CONDITIONS, AND SOIL MOISTURE CONTENT SHALL BE RECORDED. IF 5 OHMS IS EXCEEDED WITHIN THE CURRENT CONFIGURATION, THE ELECTRICAL CONTRACTOR SHALL SUBMIT A QUOTE TO THE OWNER TO LOWER THE RESISTANCE TO 5 OHMS OR LESS.

E. ELECTRICAL LOADS

1. THE EQUIPMENT IS SET UP FOR A 200 AMP, 120/240 VOLT, SINGLE PHASE, THREE WIRE ELECTRICAL SERVICE. THE TOTAL CONNECTED LOAD IS 10.1 KILOVOLT-AMPERES (KVA).

SPECIAL CONTRACTOR NOTES

NOTE 1:

1. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ANY EXISTING GROUNDING GRID PRIOR TO TRENCHING.
2. CONTRACTOR SHALL MAINTAIN CONTINUITY OF EXISTING GROUND RING BY SPLICING (VIA CADWELD) ANY CUT OR BROKEN SECTIONS WITH #2 SOLID TINNED COPPER TO THE EXISTING OR NEW GROUNDING SYSTEM.

NOTE 2:

1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL HAND DIG IN THE VICINITY OF ALL EXISTING LINES.

F. TELCO

1. PULL BOX (12" x 12") TO BE INSTALLED ON THE END OF THE TELCO CONDUIT AT METERBOARD AND PPC CABINET.

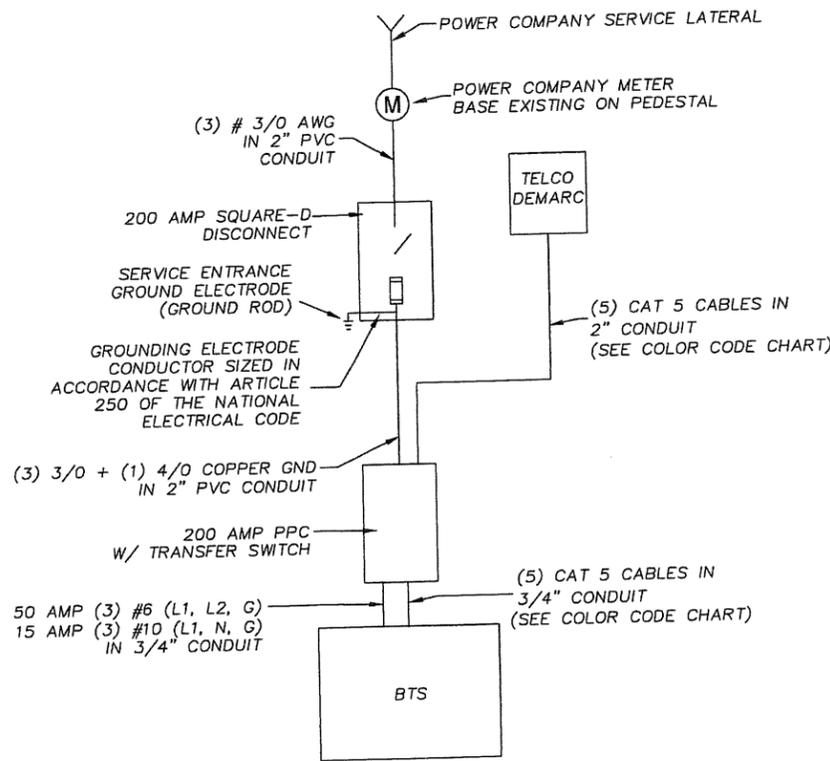
NOTES:

1. THE SUBCONTRACTOR SHALL PROVIDE 200 AMP, SINGLE PHASE, 120/240 VAC 60HZ SERVICE FOR THE SITE.
2. THE SUBCONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY BEFORE THE START OF CONSTRUCTION. POWER AND TELEPHONE CONDUIT SHALL BE PROVIDED AND INSTALLED PER UTILITY REQUIREMENTS.
3. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENT, REFER TO DRAWINGS PROVIDED BY PANEL MANUFACTURER.
4. THE SUBCONTRACTOR SHALL INSTALL SUFFICIENT LENGTHS OF CONDUIT INCLUDING ALL CONDUIT FITTINGS (NUTS, REDUCING BUSHINGS, ELBOWS, COUPLINGS, ETC.) NECESSARY FOR CONNECTING FROM CONDUIT TO THE INTERIOR OF THE BTS CABINET.
5. THE SUBCONTRACTOR SHALL PROVIDE ELECTRICAL SERVICE EQUIPMENT WITH FAULT CURRENT RATINGS GREATER THAN THE AVAILABLE FAULT CURRENT FROM THE POWER UTILITY.
6. AT THE END OF THE CONDUIT, CUT COIL AND TAPE A 10' FOOT PITGAL FOR TERMINATING BY BTS EQUIPMENT MANUFACTURER.
7. THE SUBCONTRACTOR SHALL VERIFY THAT THE MAIN BONDING JUMPER AND GROUNDING ELECTRODE CONDUIT IS INSTALLED PROPERLY WHEN PANEL SERVICE ENTRANCE EQUIPMENT IS INSTALLED.
8. THE CONTRACTOR SHALL VERIFY THAT THE INSTALLATION PERFORMED BY HIS SUBCONTRACTOR CONFORMS TO THE CURRENT NATIONAL CODE.

CABLE COLOR CODE CHART

CAT -5 CABLE COLOR CODE CHART
(CABLE JACKET NEEDS TO BE APPROPRIATE COLOR, NOT COLORED TAPE)

- 1) YELLOW
- 2) WHITE
- 3) BLUE
- 4) GREEN
- 5) YELLOW WITH ONE STRIPE BLACK TAPE
- 6) WHITE WITH ONE STRIPE BLACK TAPE
- 7) BLUE WITH ONE STRIPE BLACK TAPE
- 8) GREEN WITH ONE STRIPE BLACK TAPE
- 9) RED



**ONE-LINE DIAGRAM
UNDERGROUND SERVICE TO PEDESTAL
NOT TO SCALE**



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: BROOKSFIELD

SITE NUMBER: RN515

SITE ADDRESS:
2418 POVERTY CREEK ROAD
BLACKSBURG, VA 24060

AREA:
LEASE AREA = 400 SQ. FT.

TOWER OWNER:
CIG COMP TOWER, LLC
5 CONCOURSE PARKWAY, SUITE 3100
ATLANTA, GA 30328

LATITUDE: N37° 13' 51.0"

LONGITUDE: W80° 31' 14.0"

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400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-155615.01

ELECTRICAL DETAILS	SHEET
	D-8

GENERAL NOTES

1. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENT AGENCIES.
2. ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND AT HIS EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
3. CONTRACTOR SHALL NOTIFY THE COUNTY ENGINEER 24 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
4. LOCATION OF EXISTING SEWER, WATER OR GAS LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS, AND IF SHOWN, ARE ONLY APPROXIMATELY CORRECT. CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES (INCLUDING TEST PITS BY HAND IF NECESSARY) IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT THE OWNER'S ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON PLANS. IF THERE APPEARS TO BE A CONFLICT, OR UPON THE DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS, CALL "MISS UTILITY" FOR ASSISTANCE.
5. EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY THE CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED OR REPLACED IN-KIND.
6. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER, THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.
7. THE CONTRACTOR SHALL COORDINATE THE REQUIREMENTS FOR AND LIMITS OF OVERHEAD AND/OR UNDERGROUND ELECTRICAL SERVICE WITH NTELOS.
8. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE (1) FULL YEAR FROM THE DATE OF ACCEPTANCE.
9. THE OWNER SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE CHARGED EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY COUNTY INSPECTORS.
10. ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN THE PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE IN WHICH THE WORK IS TO BE PERFORMED. UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
11. ALL MANUFACTURER'S HARDWARE ASSEMBLY INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERCEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
12. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE AND ANY FIELD MODIFICATIONS THERETO, TO INSURE THE SAFETY OF THE STRUCTURE'S COMPONENT PARTS, AND EMPLOYEES DURING ERECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS OR TIE DOWNS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
13. ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE BEGINNING OF ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK PERFORMED ON THIS PROJECT. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE OWNER'S ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES.
14. ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD WORKING QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS MUST BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND THE OWNER'S ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
16. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCAL BUILDING CODE.
17. ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE RESIDENT LEASING AGENT FOR APPROVAL.
18. ALL WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL CODES OR ORDINANCES. THE MOST STRINGENT CODE WILL APPLY IN THE CASE OF DISCREPANCIES OR DIFFERENCES IN THE CODE REQUIREMENTS.
19. ANY DAMAGE TO ADJACENT PROPERTIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
20. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES WITHIN CONSTRUCTION LIMITS PRIOR TO CONSTRUCTION.
21. THE ELECTRICAL AND RF STANDARDS AND SPECIFICATIONS SHOWN ON THESE PLANS HAVE BEEN PROVIDED BY THE CLIENT. MEAD & HUNT, INC. HAS NOT DESIGNED NOR PREPARED ANY OF THE ELECTRICAL AND RF STANDARDS AND SPECIFICATIONS. THEY HAVE BEEN PROVIDED FOR INFORMATION ONLY.
22. RECORD DRAWINGS: MAINTAIN A RECORD OF ALL CHANGES, SUBSTITUTIONS BETWEEN WORK AS SPECIFIED AND INSTALLED. RECORD CHANGES ON A CLEAN SET OF CONTRACT DRAWINGS WHICH SHALL BE TURNED OVER TO THE CONSTRUCTION MANAGER UPON COMPLETION OF THE PROJECT.
23. COORDINATE THE CONSTRUCTION STAGING AREA WITH THE PROPERTY OWNER AND THE PROPERTY MANAGER WELL IN ADVANCE OF THE CONSTRUCTION START DATE.
24. THE CONTRACTOR IS TO FIELD VERIFY ALL EXISTING CONDITIONS AND PLAN DIMENSIONS, AND NOTIFY THE ARCHITECT AND ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
25. THE CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE WORK SITE ON A DAILY BASIS.



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: BROOKSFIELD

SITE NUMBER: RN515

SITE ADDRESS:
2418 POVERTY CREEK ROAD
BLACKSBURG, VA 24060

AREA:
LEASE AREA = 400 SQ. FT.

TOWER OWNER:
CIG COMP TOWER, LLC
5 CONCOURSE PARKWAY, SUITE 3100
ATLANTA, GA 30328

LATITUDE: N37° 13' 51.0"

LONGITUDE: W80° 31' 14.0"

NO.	REVISION/ISSUE	DATE
1	ISSUE FOR COMMENT	04/24/15
2	REISSUE FOR COMMENT	05/14/15
3	ISSUE FOR CONSTRUCTION	05/19/15
4	REISSUE FOR CONSTRUCTION	08/07/15
5	REISSUED	08/21/15



400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-155615.01

GENERAL
NOTES

SHEET

D-9

AT A REGULAR MEETING OF THE BOARD OF SUPERVISORS OF THE COUNTY
OF MONTGOMERY, VIRGINIA HELD ON THE 13th DAY OF APRIL, 2009 AT 6:00 P.M.
IN THE BOARD CHAMBERS, MONTGOMERY COUNTY GOVERNMENT CENTER, 755
ROANOKE STREET, CHRISTIANSBURG, VIRGINIA:

R-FY-09-141
SPECIAL USE PERMIT
WALTER T. & SHERRY K. SAVILLE (AGENT: NTELOS)
FOR THE PURPOSE OF ALLOWING
A 152 FOOT TELECOMMUNICATIONS TOWER
IN THE PRICES FORK MAGISTERIAL DISTRICT (DISTRICT E)
PARCEL ID # 016650, TAX MAP NUMBER 38-A-153

On a motion by William H. Brown, seconded by Mary W. Biggs and carried unanimously,

BE IT RESOLVED, By the Board of Supervisors of Montgomery County, Virginia that the **Walter T. & Sherry K. Saville (Agent: NTELOS)** request for a Special Use Permit (SUP) on approximately 7.74 acres in an Agriculture (A1) zoning district to allow a 152' telecommunications tower is consistent with the County's Comprehensive Plan and is hereby **approved** with the following conditions:

1. This Special Use Permit (SUP) authorizes construction of a telecommunications tower in an Agricultural (A-1) zoning district on a portion of Parcel ID 016650. Tower shall not exceed a total overall height of 152 feet inclusive of the proposed lightning rod with a ground elevation of 1,930 ft. Tower shall have no lighting unless required by the FAA. Tower shall have a base diameter not to exceed forty (40) inches and a top diameter of twenty-two (22) inches.
2. Site development shall be in substantial conformance with the plans entitled, "NTelos Site # RN515, Site Name: Brookfield" prepared by Balzer and Associates, Inc., dated November 12, 2008 and received by Montgomery County on January 29, 2009.
3. NTelos shall access the site using an existing driveway off Rt. 725 (Poverty Creek Road) to the existing home on the Saville Property.
4. NTelos shall construct a twenty (20') ft. wide access/utility easement from the existing home to the telecommunications tower site.

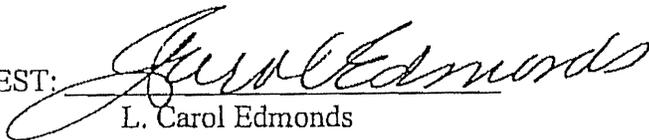
5. Tower shall be of a "monopole stealth design" and all antennae shall be flush mounted (distance between face of pole and outer face of antennas not to exceed 12 inches) on the structure. Tower shall be painted brown (Umbra). All wiring and cables shall be located inside the pole structure.
6. Engineering plans signed and sealed by a licensed engineer in the State of Virginia shall be submitted to and approved by the Building Official prior to issuance of a building permit.
7. No platforms or dishes shall be permitted on the structure above the tree line.
8. Tower shall meet all regulations found in Section 10-48(6) of the Montgomery County Zoning Ordinance.
9. Backup generator, if applicable, shall be fueled only by propane.
10. Owner/agent shall provide police, fire and rescue services antennae space on the proposed tower for the agreed upon rental rate of \$1 per year subject to the structural capacity of the tower and provided that emergency service antennae do not provide radio frequency interference to other antennae located upon the tower. Emergency service providers shall provide equipment. Tower owner/agent shall install the antennae at market rate. The second highest space on the pole shall be made available to the County. In the event that Montgomery County has not used this space and another cellular carrier wishes to co-locate on the same tower, the tower owner shall give the Montgomery County Administrator fourteen (14) days notice by Certified Mail of their intent to occupy this location.

The property is located at 2416 Poverty Creek Road and is identified as Tax Parcel No(s) 38-A-153 (Acct No. 016650), in the Prices Fork Magisterial District (District E). The property currently lies in an area designated as Rural in the Comprehensive Plan.

The vote on the foregoing resolution was as follows:

<u>AYE</u>	<u>NAY</u>	<u>ABSENT</u>
John A. Muffo	None	James D. Politis
Gary D. Creed		
Mary W. Biggs		
Doug Marrs		
William H. Brown		
Annette S. Perkins		

ATTEST:



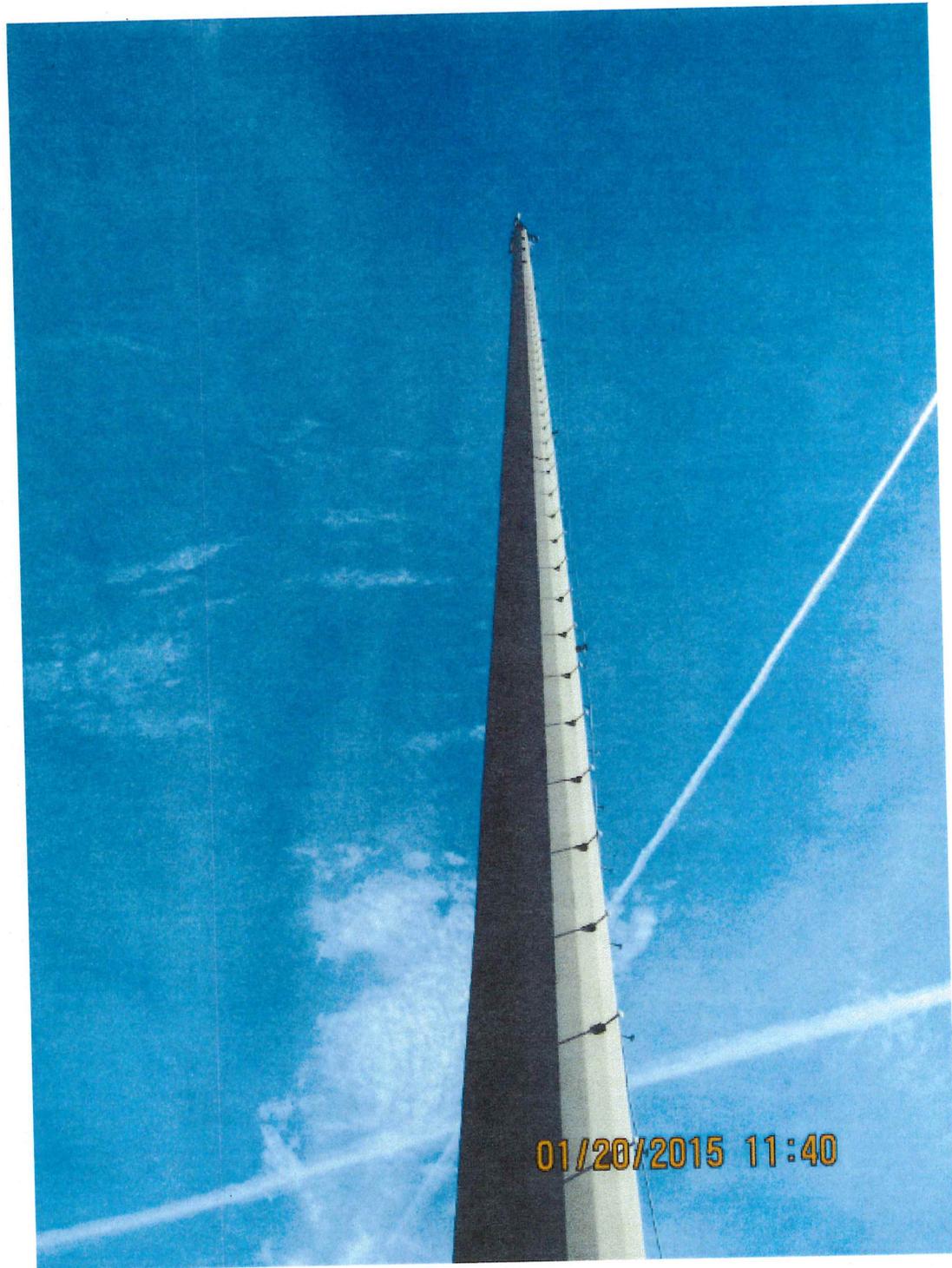
L. Carol Edmonds
Interim County Administrator

nTelos

RN515

2418 Poverty Creek Road

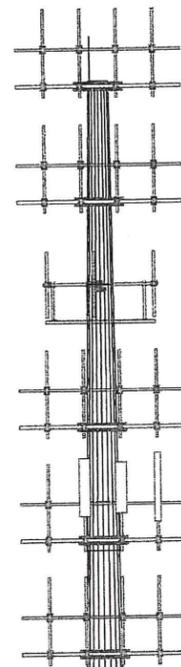
SU-2015-13035



01/20/2015 11:40

TOP OF LIGHTNING ROD ELEV. = 132'

TOP OF TOWER ELEV. = 128'



EXISTING ANTENNAS RAD CENTER ELEV. = 129'-8"
(U.S. CELLULAR)

EXISTING ANTENNAS RAD CENTER ELEV. = 121'
(AT&T)

EXISTING ANTENNAS RAD CENTER ELEV. = 109'-6"
(T-MOBILE)

EXISTING ANTENNAS RAD CENTER ELEV. = 99'
(VERIZON)

EXISTING ANTENNAS RAD CENTER ELEV. = 91'
(NTELOS)

EXISTING PLATFORM MOUNT ELEV. = 75'-10"
(EMPTY)

ELEV. 0' (BASE OF MONOPOLE)

TOWER ELEVATION



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: VTCRC

SITE NUMBER: RN758

SITE ADDRESS:
208 S. KNOLLWOOD DRIVE
BLACKSBURG, VA 24062

AREA:
LEASE AREA = 288 SQ. FT.

TOWER OWNER:
KALER COMMUNICATIONS, LLC
P.O. BOX 10397
BLACKSBURG, VA 24062

LATITUDE: N37° 12' 01.07"

LONGITUDE: W80° 24' 08.33"

NO.	REVISION/ISSUE	DATE
1	ISSUED	08/27/15

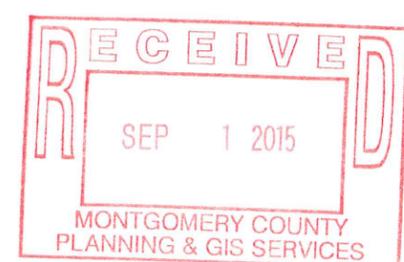
FOR
ILLUSTRATIVE
PURPOSES
ONLY



400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-150113.01

TOWER ELEVATION SHEET
D-1





1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: VTCRC

SITE NUMBER: RN758

SITE ADDRESS:
208 S. KNOLLWOOD DRIVE
BLACKSBURG, VA 24062

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LATITUDE: N37° 12' 01.07"

LONGITUDE: W80° 24' 08.33"

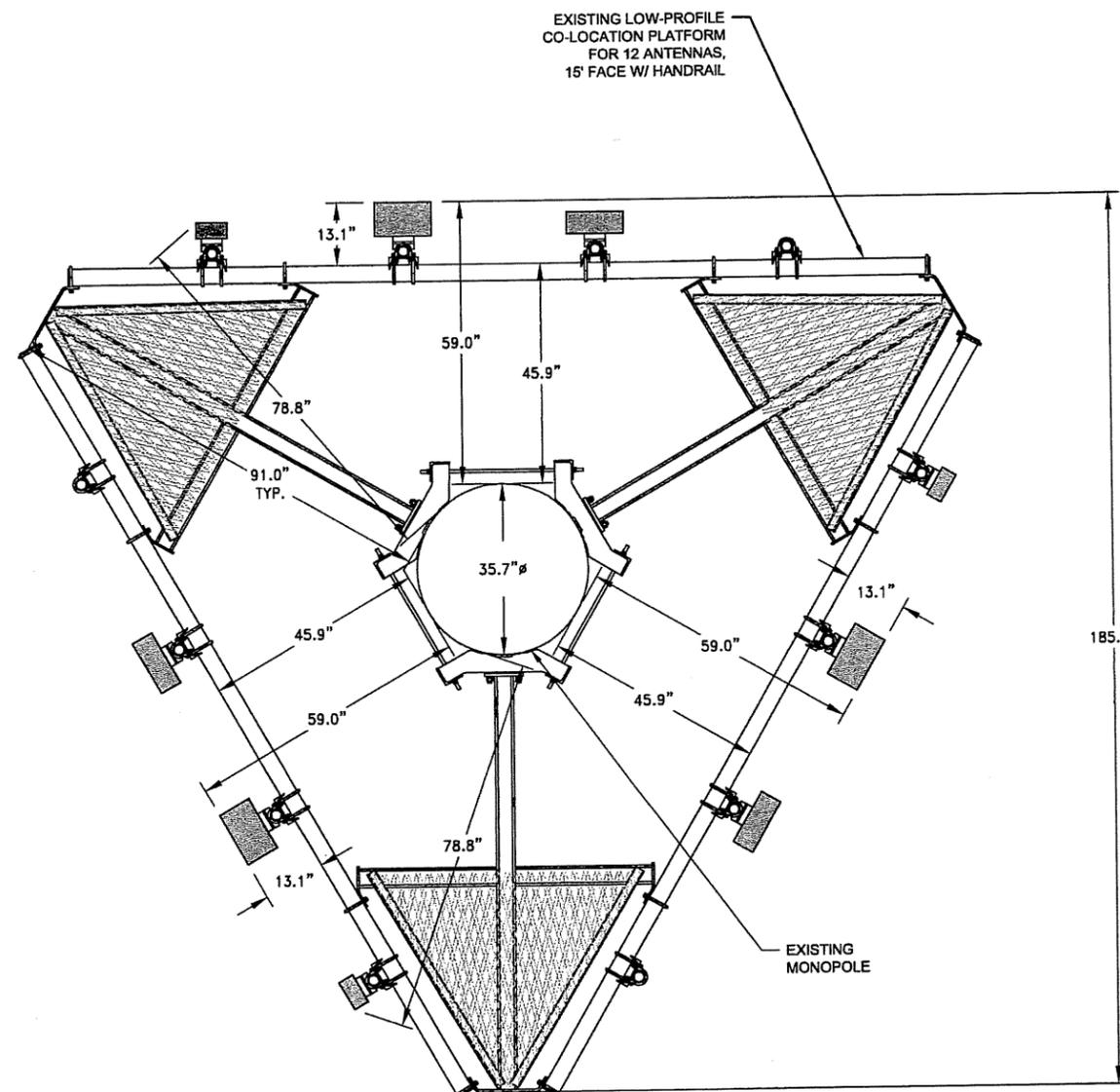
NO.	REVISION/ISSUE	DATE
1	ISSUED	08/27/15



400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

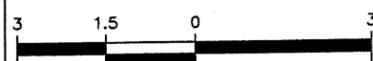
PROJECT # R4022100-150113.01

MISCELLANEOUS DETAILS	SHEET D-2
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NTELOS PLATFORM

GRAPHIC SCALE



1 INCH = 3 FEET



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: VTCRC

SITE NUMBER: RN758

SITE ADDRESS:
208 S. KNOLLWOOD DRIVE
BLACKSBURG, VA 24062

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P.O. BOX 10397
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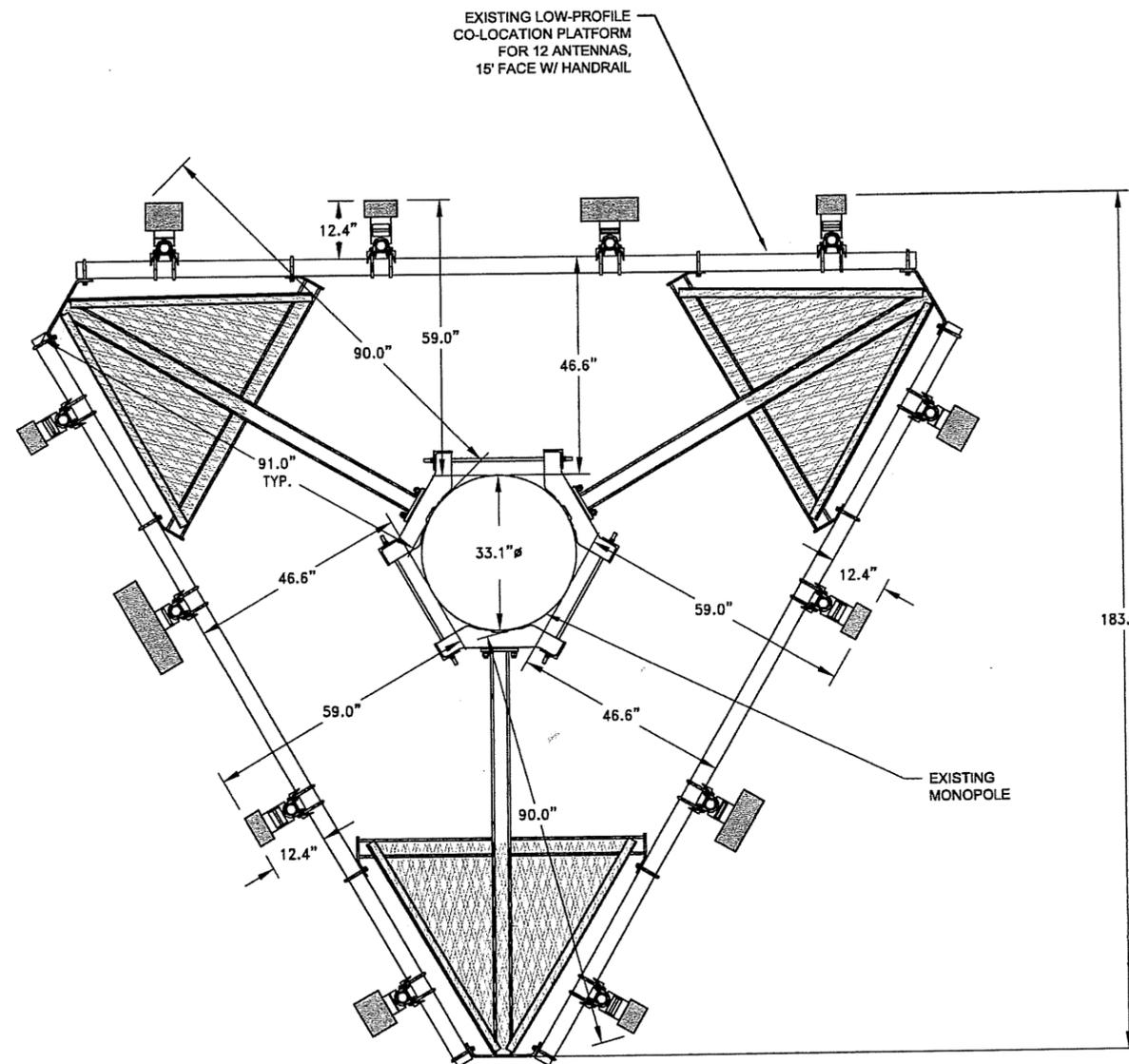
NO.	REVISION/ISSUE	DATE
1	ISSUED	08/27/15



400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

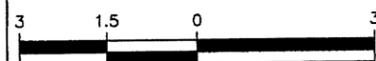
PROJECT # R4022100-150113.01

MISCELLANEOUS DETAILS	SHEET
	D-3



VERIZON PLATFORM

GRAPHIC SCALE



1 INCH = 3 FEET



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: VTCRC

SITE NUMBER: RN758

SITE ADDRESS:
208 S. KNOLLWOOD DRIVE
BLACKSBURG, VA 24062

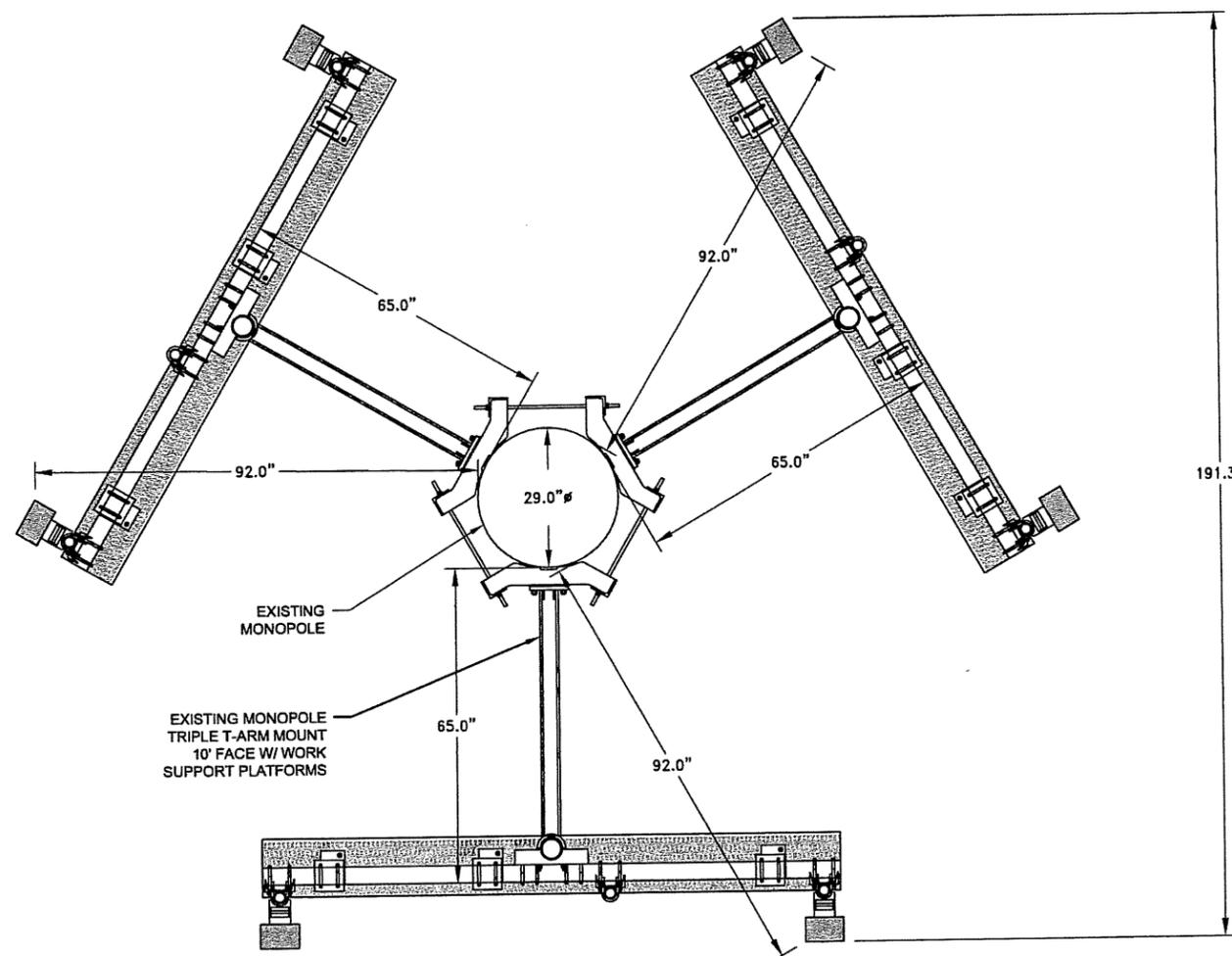
AREA:
LEASE AREA = 288 SQ. FT.

TOWER OWNER:
KALER COMMUNICATIONS, LLC
P.O. BOX 10397
BLACKSBURG, VA 24062

LATITUDE: N37° 12' 01.07"

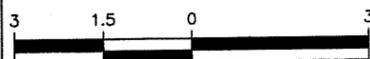
LONGITUDE: W80° 24' 08.33"

NO.	REVISION/ISSUE	DATE
1	ISSUED	08/27/15



T-MOBILE TRIPLE T-ARM MOUNT

GRAPHIC SCALE



1 INCH = 3 FEET



400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-150113.01

MISCELLANEOUS
DETAILS

SHEET

D-4



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: VTCRC

SITE NUMBER: RN758

SITE ADDRESS:
208 S. KNOLLWOOD DRIVE
BLACKSBURG, VA 24062

AREA:
LEASE AREA = 288 SQ. FT.

TOWER OWNER:
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P.O. BOX 10397
BLACKSBURG, VA 24062

LATITUDE: N37° 12' 01.07"

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NO.	REVISION/ISSUE	DATE
1	ISSUED	08/27/15

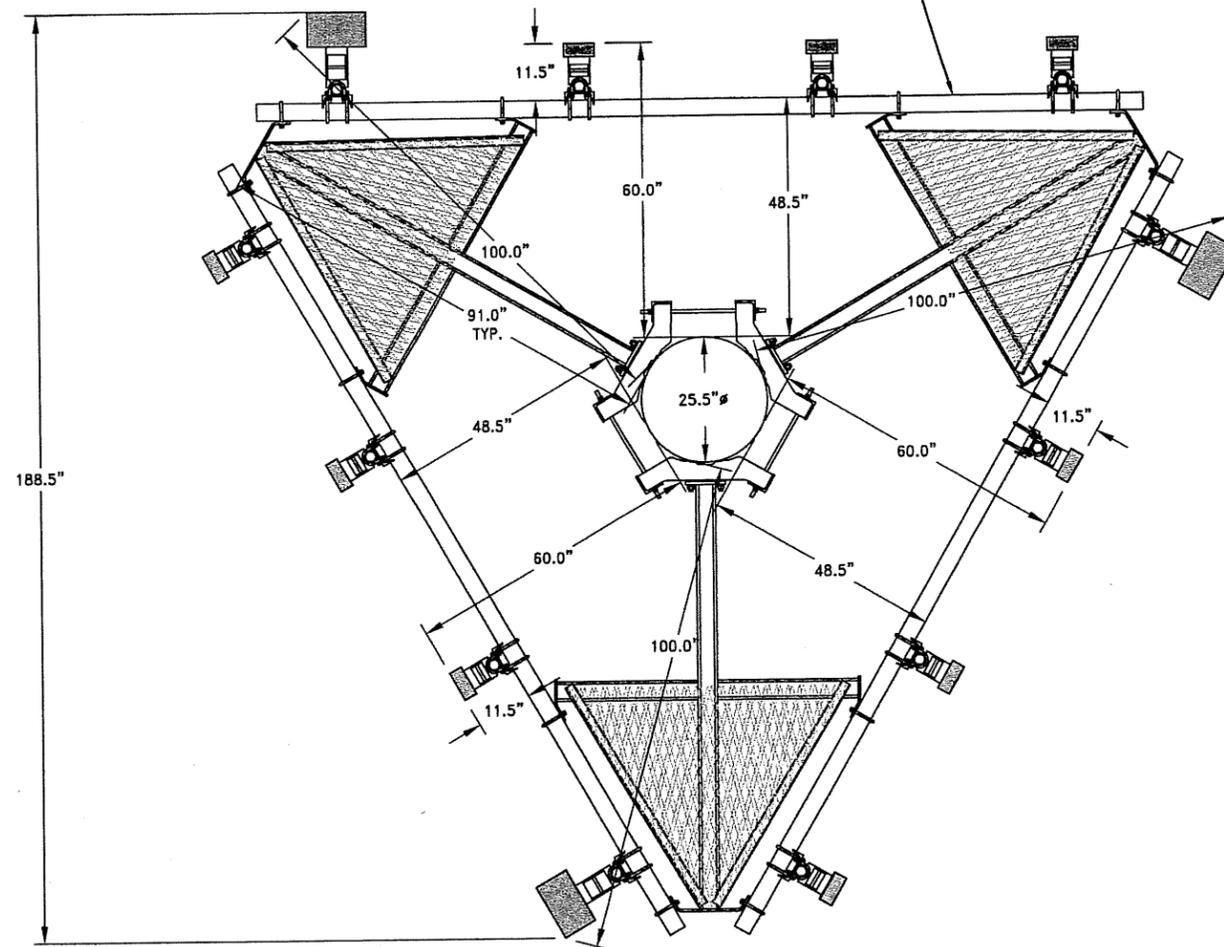


400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-150113.01

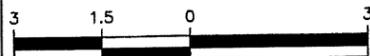
MISCELLANEOUS DETAILS	SHEET D-5
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EXISTING LOW-PROFILE
CO-LOCATION PLATFORM
FOR 12 ANTENNAS,
15' FACE W/ HANDRAIL



AT&T PLATFORM

GRAPHIC SCALE



1 INCH = 3 FEET



1150 SHENANDOAH VILLAGE DRIVE
WAYNESBORO, VA 22980

SITE NAME: VTCRC

SITE NUMBER: RN758

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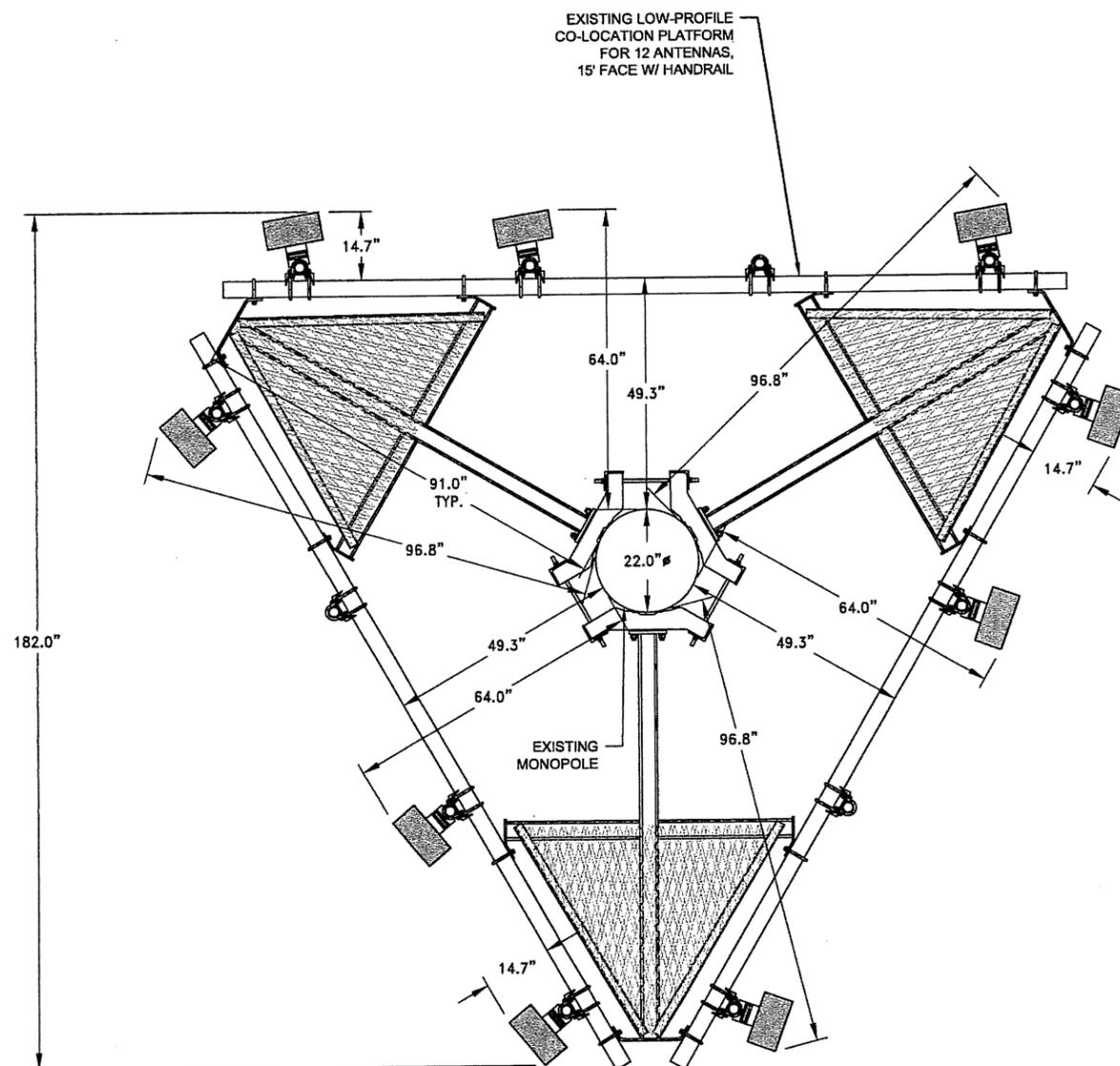
NO.	REVISION/ISSUE	DATE
1	ISSUED	08/27/15



400 TRACY WAY
SUITE 200
CHARLESTON, WV 25311
(304) 345-6712 PHONE

PROJECT # R4022100-150113.01

MISCELLANEOUS DETAILS	SHEET D-6
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U.S. CELLULAR PLATFORM

GRAPHIC SCALE



1 INCH = 3 FEET