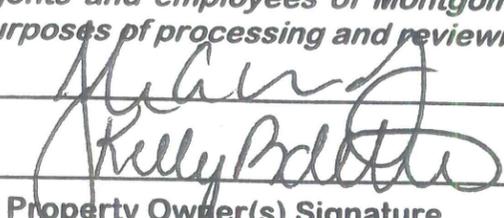


Application to Planning Commission and Board of Supervisors

Application For: (check appropriate boxes) <input type="checkbox"/> Rezoning <input type="checkbox"/> Rezoning & Special Use Permit <input type="checkbox"/> Special Use Permit	
Owner/Applicant Information: (Use current mailing/contact information for all property owners. An additional sheet may be attached for multiple owners.)	
Property Owner: <u>John A. Barr Jr.</u> <u>Kelly Burdette</u>	Agent: _____
Address: <u>490 Craig Creek Rd.</u> <u>Blacksburg VA 24060</u>	Address: _____
Phone 1: <u>540-552-4160 (H)</u>	Phone 1: _____
Phone 2: <u>240-674-0604 (C)</u>	Phone 2: _____
Email: <u>JohnBarr6@aol.com</u>	Email: _____
Location of Property/ Site Address: <u>As above</u>	
Legal Record of Property: Total Area: <u>57.139 Acres</u> Magisterial District <u>Mount Tabor</u>	
Parcel ID: <u>002518</u> Tax Parcel Number(s): <u>015(A)1</u>	
Rezoning Details: Current Zoning District: _____ Requested Zoning District: _____	
Desired Use(s): _____	
Special Use Permit: Current Zoning District <u>A1</u> Total Area/Acres: <u>57.139</u>	
Desired Use(s): <u>Accessory structure greater than 1200 sq. ft.</u>	
Comprehensive Plan Designation: <u>Resource Stewardship</u>	
Traffic Impact Analysis Required: <input type="checkbox"/> Yes (payment enclosed) <input checked="" type="checkbox"/> No	
<i>I certify that the information supplied on this application and on the attachments provided (maps or other information) is accurate and true to the best of my knowledge. In addition, I hereby grant permission to the agents and employees of Montgomery County and State of Virginia to enter the above property for the purposes of processing and reviewing the above application.</i>	
<u></u> Property Owner(s) Signature	<u>10/3/14</u> Date
_____	Agent's Signature
_____	Date

Date Received: 11/3/14 **FOR OFFICE USE ONLY** Application Number: SUP-2014-12472

Traffic Impact Analysis and Payment Received: Yes No Date Submitted to VDOT: _____

Request for Special Use Permit

Accessory Structure greater than 1200 sq. ft.

Introduction:

This special use permit is requested by John Barr and Dr Kelly Burdette. My wife and I both moved from Maryland where we attended high school together. She has lived in Montgomery County since 1988 and I moved here later. Dr Burdette is a graduate of Virginia Tech and opened Town and Country Veterinary Clinic in Christiansburg in 1992. Town and Country has grown well over the years and is a veterinary clinic that is fully staffed 24 hours and offers a complete line of services including providing emergency care to the New River Valley and surrounding areas. Town and Country employs approximately 65 people including 10 doctors. Along with the clinic we also raise dogs at our home. We raise Cockapoos and Goldendoodles and have done so for over 25 years. We also have 5 daughters that attend Blacksburg schools.

This special use permit was previously approved on May 10, 2010. At the time we filed a permit for 2 accessory structures and a private kennel. Since that time we have constructed a new home and the new kennel building. The second structure, a garage/barn storage building, was delayed due to financial constraints of undertaking all the construction at one time. We are now resubmitting our special use permit for the second building.

Concept Development Plan:

Requested by John Barr and Kelly Burdette for 490 Craig Creek Rd, Blacksburg consisting of 57.139 acres identified as parcel 002518, tax map 15(A). This property is zoned A1 and is listed as a Resource Stewardship area. The property consists of 1630 ft. of road frontage on Craig Creek and the other 3 sides of the property are bordered by the Jefferson National Forest. Our goal is to create a beautiful farm type residence. Our home and kennel are centrally located in the property. We would like to continue with our original plan and construct a second accessory structure for a garage/barn/storage building. All site preparation was done at the time of the other construction in May of 2011. The building would be located in the exact same location as was originally planned. The structure was originally planned as a 42'x60'x14' main building with an attached 36'x30'x9' open wing. The building now would be 48'x72'x14'. The front @ 30' of the building would be a large 3 car garage with 3 individual garage doors. The rear of the building would be for storage of equipment and materials required for the dogs and maintenance of the 57 acres. The rear would have one large door @ 10'x13'. The building will be constructed by Morton Buildings of Roanoke Va., the same company that constructed our current Kennel building. The building will be a pole barn type construction and will have a black metal roof with 2 cupolas. Morton Buildings will build the building with the poles, metal roof, cupolas, all soffit and eave trim, gutters and downspouts. I will then conventionally frame between the existing poles and cover the exterior of the building in 10" lap siding to match our house. A stone wainscoting will be on at least the front fascia of the garage to match the house and kennel. Our intention is to match this building more to our house than the kennel which has a gray roof and ivory metal sides. The building will be built with a gravel floor with intentions for a concrete floor in the future and when financially possible.

Comprehensive Plan Justification:

Our property is listed as Resource Stewardship and our plans for this property are in line with this use. Having animals on the property and creating a farm type residence are both good matches for Resource Stewardship.

Additional Special Use Permit Requirements:

1. Whether the proposed Special Use Permit is consistent with the Comprehensive Plan (Addressed under "3. Comprehensive Plan Justification"). **Yes, it is consistent**

2. Whether the proposed Special Use Permit will adequately provide for safety from fire hazards and have effective measures of fire control. **The building is for storage so there are no fire safety measures to be taken.**

3. The level and impact of any noise emanating from the site, including that generated by the proposed use, in relation to the uses in the immediate area. **No noise will be generated since the main purpose of the building is storage.**

4. The glare or light that may be generated by the proposed use in relation to uses in the immediate area. **The building will not produce any light or glare at this time since no electricity will be installed.**

5. The proposed location, lighting and type of signs in relation to the proposed use, uses in the area, and the sign requirements of this Ordinance. **There will not be any signs of any type for this building.**

6. The compatibility of the proposed use with other existing or proposed uses in the neighborhood, and adjacent parcels. **There are no adjacent parcels other than the National Forest and other residences on Craigs Creek Rd are compatible with this use and are farm type with barns, garages and storage buildings.**

7. The location and area footprint with dimensions (all drawn to scale), nature and height of existing or proposed buildings, structures, walls, and fences on the site and in the neighborhood. **Proposed building is 48'x72'x14' @ 24' to roof peak. Existing house is 40'x84'x@34' tall and @5400 sq. ft.. Kennel is 42'x70'x10' @ 21' to peak. There are walls/fence around the pool behind the home. The garage will be @ 155' from the home and @ 210' from the kennel. The kennel is @ 145' from the home. Please see the survey and scetch for the layout of the entire home/farm.**

8. The nature and extent of existing or proposed landscaping, screening and buffering on the site and in the neighborhood. **Most of the entire 57 acres is wooded and we intend to leave the property as wooded as possible. The site where the building will go was cleared and leveled 2 1/2 years ago when the home and kennel were constructed and there is no additional landscaping that will be around the garage at this time.**

9. The timing and phasing of the proposed development and the duration of the proposed use. **Construction would start upon approval and would hopefully be completed in**

approximately 4 months. We intend to occupy the property for at least 20-30 yrs.

10. Whether the proposed Special Use Permit will result in the preservation or destruction, loss or damage of any topographic or physical, natural, scenic, archaeological or historic feature of significant importance. **As stated earlier the site is already cleared and leveled and there will be no damage to anything of any kind.**

11. Whether the proposed Special Use Permit at the specified location will contribute to or promote the welfare or convenience of the public. **This permit is for a garage/barn for personal storage and will not have any impact on the general public.**

12. The traffic expected to be generated by the proposed use, the adequacy of access roads and the vehicular and pedestrian circulation elements (on and off-site) of the proposed use, all in relation to the public's interest in pedestrian and vehicular safety and efficient traffic movement. **There will be no traffic associated with this building or its use. The driveway to the home, kennel and this building are all in place and adequate. Since this is all centrally located on 57 private acres there will be no relation to any public pedestrian or vehicular traffic or safety concerns.**

13. Whether, in the case of existing structures proposed to be converted to uses requiring a Special Use Permit, the structures meet all code requirements of Montgomery County. **This is brand new construction and there are no existing structures being converted.**

14. Whether the proposed Special Use Permit will be served adequately by essential public facilities and services. **There will be no facilities to this building at this time. Electricity will hopefully be installed sometime in the future.**

15. The effect of the proposed Special Use Permit on groundwater supply. **There will be no effect on groundwater by this building.**

16. The effect of the proposed Special Use Permit on the structural capacity of the soils. **None**

17. Whether the proposed use will facilitate orderly and safe road development and transportation. **Since this building will be located on 57 private acres there will be no effect to any road development or transportation.**

18. The effect of the proposed Special Use Permit on environmentally sensitive land or natural features, wildlife habitat and vegetation, water quality and air quality. **There are no particular features on the site for the building or its vicinity and as stated the site was prepared 2 1/2 years ago and is just an open level area surrounded by trees.**

19. Whether the proposed Special Use Permit use will provide desirable employment and enlarge the tax base by encouraging economic development activities consistent with the Comprehensive Plan. **This buiding will be for personal storage and will have no business or employees or impact economic development in any way.**

20. Whether the proposed Special Use Permit considers the needs of agriculture, industry, and businesses in future growth. **Since the building is just for storage there are no considerations for any future growth of any kind.**
21. The effect of the proposed Special Use Permit use in enhancing affordable shelter opportunities for residents of the County. **There would be no effect on any shelter for any residents.**
22. The location, character, and size of any outdoor storage. **There is no outdoor storage planned and everything will be stored in the building.**
23. The proposed use of open space. **There is no plan for any open space.**
24. The location of any major floodplain and steep slopes. **There are not any known floodplains in the area and the existings slopes or hills around the site would not be considered steep. The mountain to the rear of the property is the closest steep slope and is approximately 1800-2000' behind the proposed site.**
25. The location and use of any existing non-conforming uses and structures. **There are no known non-conforming uses or structures.**
26. The location and type of any fuel and fuel storage. **There is no fuel or fuel storage on the property.**
27. The location and use of any anticipated accessory uses and structures. **There are no other anticipated uses or structures planned at this time.**
28. The area of each use; if appropriate. **There are no planned uses.**
29. The proposed days/hours of operation. **There are no uses and no operations.**
30. The location and screening of parking and loading spaces and/or areas. **There will be no parking spaces or loading areas.**
31. The location and nature of any proposed security features and provisions. **There are no planned or proposed security features.**
32. The number of employees. **There will be no employees.**
33. The location of any existing and/or proposed adequate on and off-site infrastructure. **There will be no infrastructure.**
34. Any anticipated odors, which may be generated by the uses on site. **The building will be for storage and nothing stored in the building will emitt any odors.**
35. Whether the proposed Special Use Permit uses have sufficient measures to mitigate the impact of construction traffic on existing neighborhoods and school areas. **The construction traffic**

will be minimal and will not have any impact on any neighborhood or school.

REFERENCES: Montgomery County Tax Map 15 (A) 1; Parcel I.D. #002518; title: John A. Barr & Kelly L. Burdette - Instr. #2009009897.

NOTES:

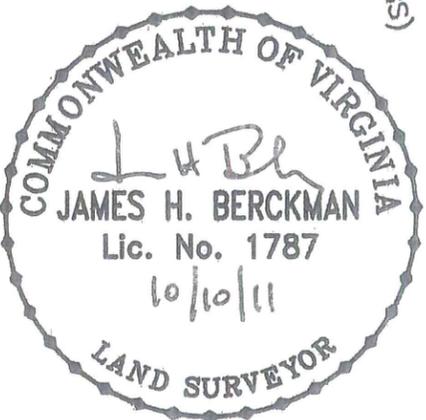
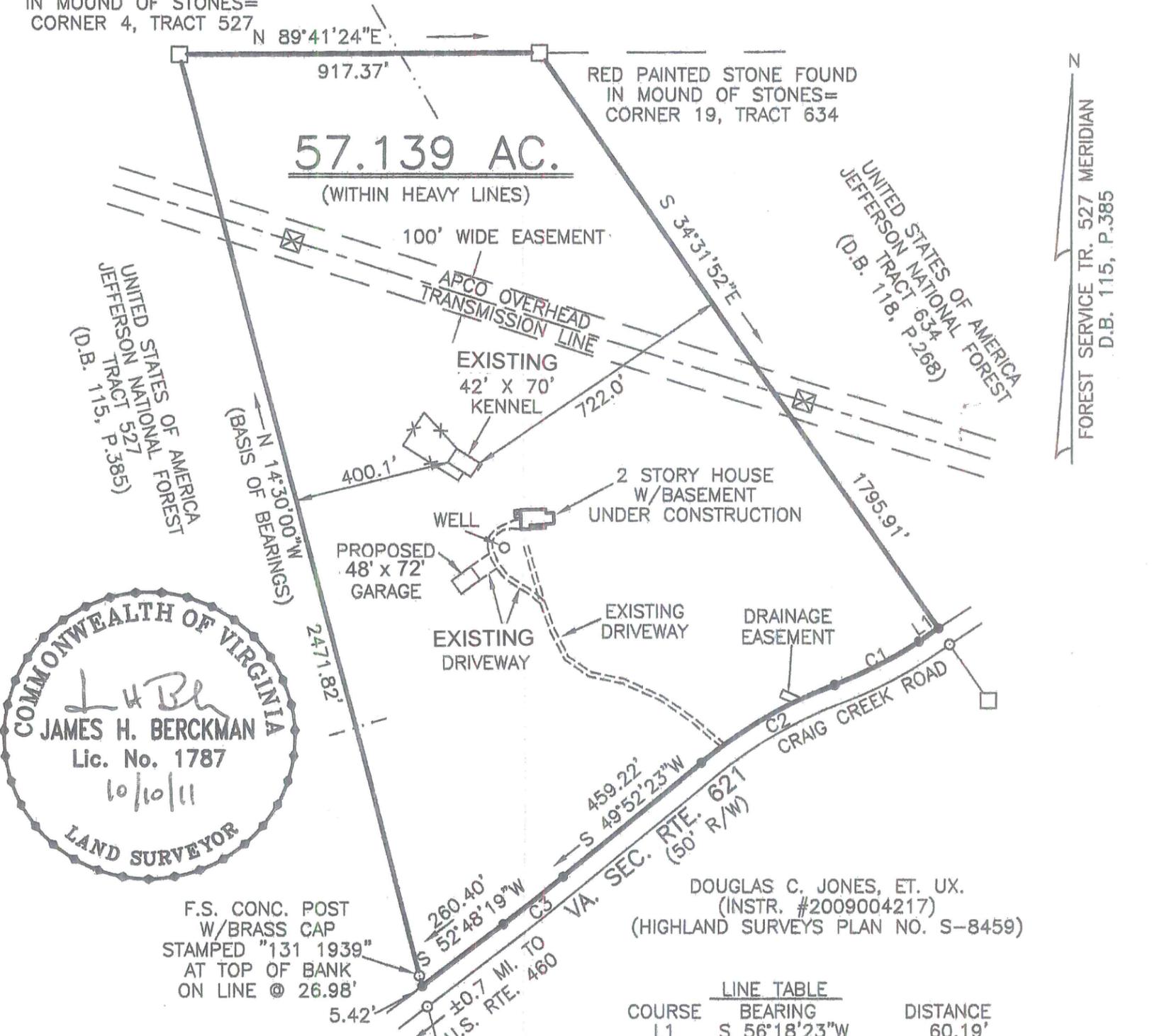
1. The boundary lines shown hereon are the result of an actual field survey performed Sept. 2009 recorded in Instrument #2009009897.
2. According to FEMA F.I.R.M. Panel No. 51121C0040C, the subject property lies within Zone X, areas outside of any special flood hazard area.
3. Property address: 490 Craig Creek Rd., Blacksburg, VA 24060
4. Subject property is zoned A-1.

LEGEND

- IRON ROD FND. UNLESS NOTED
- IRON ROD SET SEPT. 2009
- FOREST SERVICE STONE FOUND
- ⊠ ELECTRIC TOWER
- OVERHEAD WIRES
- - - CREEK OR HOLLOW
- TRACT LINE
- - - GRAVEL OR SOIL ROAD
- EASEMENT LINE
- × PROPOSED FENCE

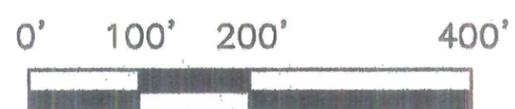
UNITED STATES OF AMERICA
JEFFERSON NATIONAL FOREST
TRACT 527
(D.B. 115, P.385)

RED PAINTED STONE FOUND
IN MOUND OF STONES=
CORNER 4, TRACT 527



LINE TABLE		CURVE TABLE	
COURSE	BEARING	LENGTH	DELTA
L1	S 56°18'23\"W	241.44'	13°03'01\"
C1		241.44'	13°03'01\"
C2		398.17'	19°29'00\"
C3		194.28'	2°56'00\"

PLAT SHOWING
EXISTING HOUSE &
PROPOSED KENNEL & GARAGE
PREPARED FOR



**JOHN A. BARR &
KELLY L. BURDETTE**

GRAPHIC SCALE
BERCKMAN LAND SURVEYING, INC.
390 A BLUEGRASS TRAIL
NEWPORT, VIRGINIA 24128
(540) 544-7904

CRAIG CREEK AREA
MOUNT TABOR MAGISTERIAL DISTRICT
MONTGOMERY COUNTY, VIRGINIA

DATE: 10 OCT. 2011 SCALE: 1"=400'
JOB NO. 09093



HOUSE AND KENNEL



KENNEL



GARAGE SITE



HOUSE

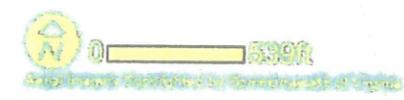
GILES COUNTY

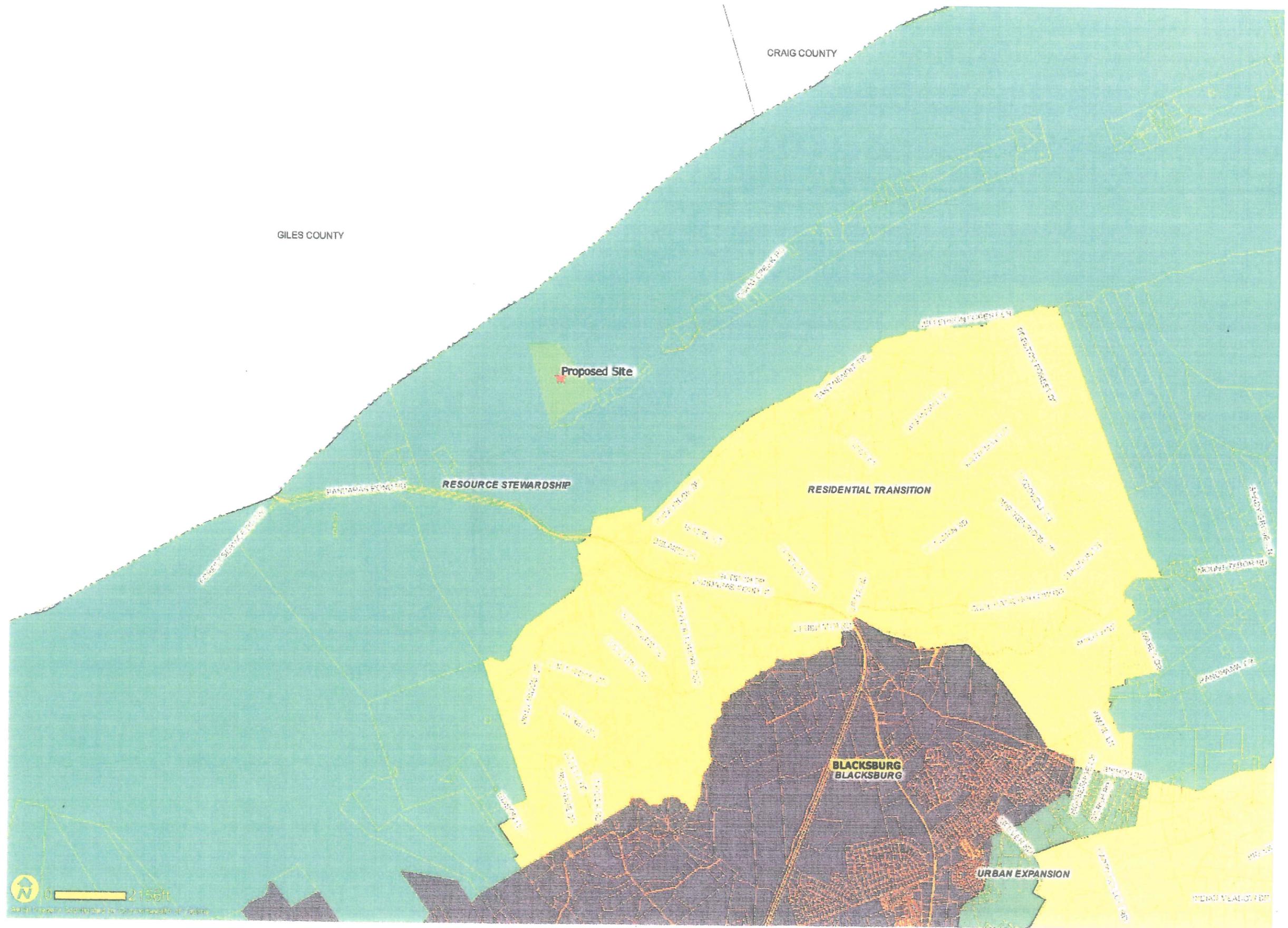
Jefferson National Forest Land

Proposed Site

Nearest Existing Structure

Shooting Range





CRAIG COUNTY

GILES COUNTY

Proposed Site

RESOURCE STEWARDSHIP

RESIDENTIAL TRANSITION

BLACKSBURG
BLACKSBURG

URBAN EXPANSION

0 2156ft

Scale: 1 inch = 2156 feet



Legend

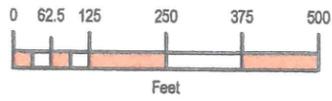
- Corporate Boundary
- Rural Communities
- State Roads
- Interstate
- Planned Highway
- Private
- Bburg Roads
- Cburg Roads
- Railroads
- VT/Montgomery Executive Airport
- Unnamed Roads Paths Trails
- Major Rivers Streams
- Streams Creeks
- MontVa 10 Ft Contours
- East Tenn Gas Line
- Tax Parcels
- MontVa Lot #'s
- Hospitals

**Montgomery County, Virginia
DISCLAIMER**

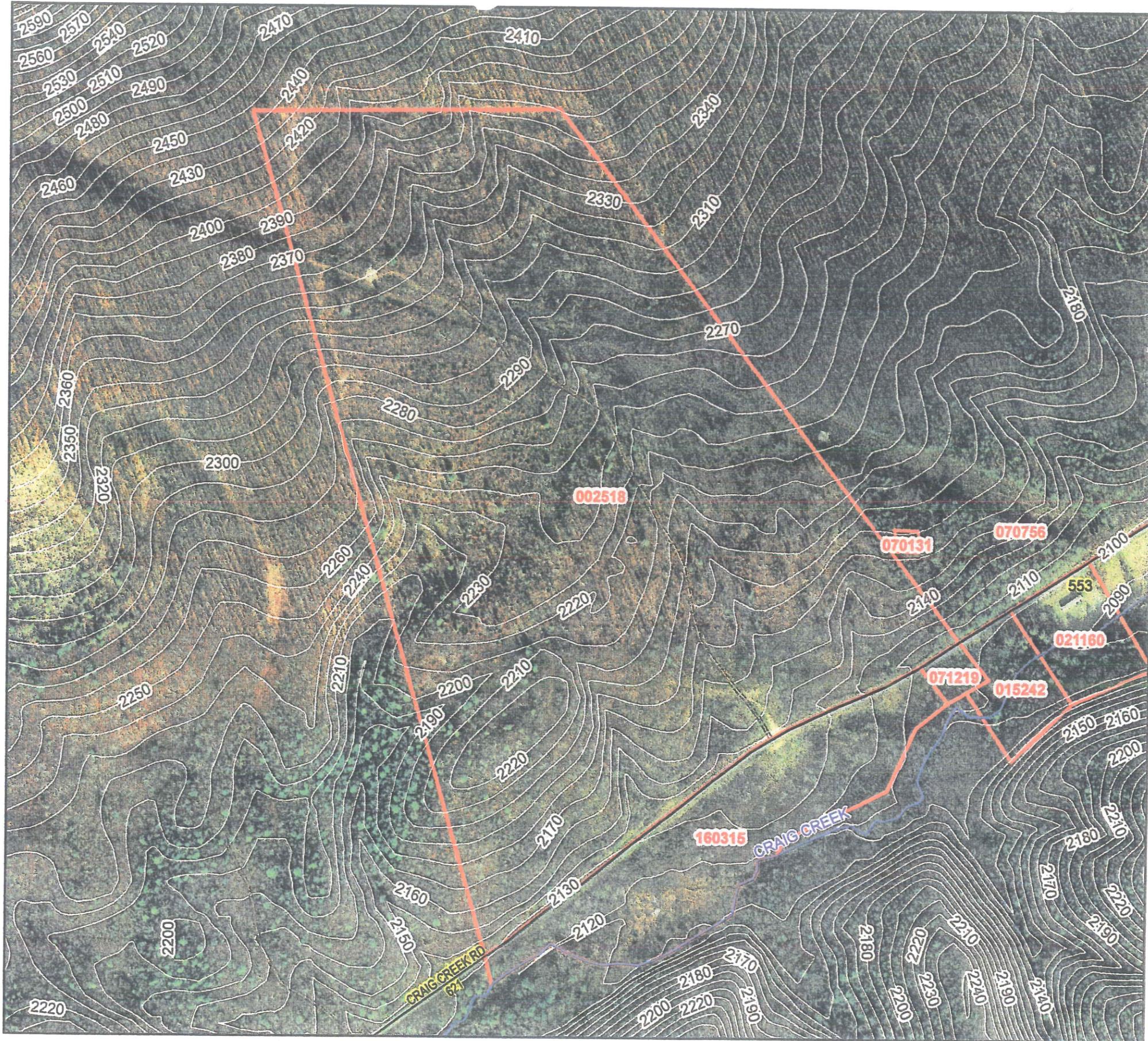
THE INFORMATION SHOWN HEREON IS TO BE USED FOR REFERENCE PURPOSES ONLY AND IS NOT TO BE CONSTRUED OR USED AS A LEGAL OR OFFICIAL DETERMINATION OF OFFICIAL COUNTY, STATE, AND FEDERAL RECORDS. DATA IS BELIEVED TO BE ACCURATE, BUT IS NOT GUARANTEED.

EXACT LOCATION OF ANY FLOOD ZONE, PROPERTY LINES OR EASEMENTS SHALL BE CERTIFIED BY LICENSED LAND SURVEYOR, ENGINEER, OR ARCHITECT.

CONTOURS SHOWN ARE FOR VISUAL REFERENCE. TO AVOID THE RISK OF MISINTERPRETATION, INVALID RESULTS, AND ERRONEOUS CONCLUSIONS, ORIGINAL LIDAR GENERATED CONTOUR DATA SHOULD BE USED FOR LAND DEVELOPMENT, SURVEY AND ENGINEERING PURPOSES.



Prepared by Montgomery County, Va
Planning & GIS Services



MORTON BUILDINGS GENERAL SPECIFICATIONS

LAMINATED COLUMNS - NO. 1 OR BETTER SOUTHERN YELLOW PINE NAIL LAMINATED 3 MEMBER S4S COLUMNS USED IN MORTON BUILDINGS ARE PRESSURE TREATED FOR INSTALLATION BELOW GRADE TO A RETENTION OF 0.8 POUNDS PER CUBIC FOOT WITH CHROMATED COPPER ARSENATE TYPE III, OXIDE IN CONFORMANCE WITH USEPA GUIDELINES AND AWP STANDARD C28. THE TREATED PORTION OF THE COLUMN EMBEDDED IN GROUND SHALL BE LAMINATED WITH STAINLESS STEEL NAILS.

FOOTINGS AND ANCHORAGE - COLUMN HOLES ARE DUG A MINIMUM DEPTH OF 4'-8" BELOW GRADE (SEE PLANS FOR DIAMETER AND DEPTH). COLUMNS WITH GALVANIZED SUPPORT STILTS ARE PLACED IN THE HOLE. CONCRETE (MINIMUM COMPRESSIVE STRENGTH 2500 PSI) IS POURED IN PLACE TO THE SPECIFIED THICKNESS (SEE PLANS FOR REQUIRED THICKNESS ABOVE AND BELOW THE COLUMN). THE COLUMN IS THEN BACKFILLED WITH SOIL AND COMPACTED AT 8" INTERVALS OR BACKFILLED WITH CONCRETE (SEE PLANS).

TREATED LUMBER - PRESSURE PRESERVATIVE TREATED LUMBER OTHER THAN LAMINATED COLUMNS ARE NO. 1 OR BETTER SOUTHERN YELLOW PINE AND CENTER MATCHED OR NOTCHED AND GROOVED OR S4S. PRESSURE TREATMENT TO GROUND CONTACT RETENTION WITH PRESERVATIVE TREATMENT COMPLYING WITH USE CATEGORY UC4B (AWPA OR ICC-ES) AND IN COMPLIANCE WITH USEPA GUIDELINES AND STANDARDS.

FRAMING LUMBER - SIDING NAILERS ARE 2x4 S4S OR 2x6 SPF NO. 2 OR BETTER SPACED APPROXIMATELY 36" O.C. WITH ALL JOINTS STAGGERED AT ATTACHMENT TO COLUMNS. ROOF PURLINS ARE 2x4 S4S NO. 2 OR BETTER ON EDGE SPACED APPROXIMATELY 24" O.C. ALL OTHER FRAMING LUMBER IS NO. 2 OR BETTER.

ROOF TRUSSES - FACTORY ASSEMBLED WITH 18 OR 20 GAUGE GALVANIZED STEEL TRUSS PLATES AS REQUIRED AND KILN DRIED LUMBER AS SPECIFIED, IN-PLANT QUALITY CONTROL INSPECTION IS CONDUCTED UNDER THE AUSPICES OF THE TPI INSPECTION BUREAU. TRUSSES ARE DESIGNED IN ACCORDANCE WITH CURRENT STANDARDS AND SPECIFICATIONS FOR THE STATED LOADING.

ROOFING PANELS [FLUOROPLEX 1000™] - 0.019" MIN., G90 GALVANIZED OR AZ55 GALVALUME STEEL WITH AN ADDITIONAL BAKED-ON 70% PVDF FINISH WITH A NOMINAL 1 MIL. PAINT THICKNESS ON EXTERIOR.

TRIM - DIE-FORMED TRIM OF 0.017" MIN., G90 GALVANIZED OR AZ55 GALVALUME STEEL ON GABLES, RIDGES, CORNERS, BASE WINDOWS, AND DOORS WITH SAME FINISH AS ROOFING OR SIDING PANELS.

GUTTERS - 5" K-STYLE, .030 HIGH TENSILE ALUMINUM GUTTER, 70% PVDF FINISH TO MATCH TRIM, ON BOTH SIDES OF THE BUILDING.
2x4F1F1 02/12

SHEET INDEX	
SHEET #	DESCRIPTION
G1 OF G1	SPECIFICATIONS & SHEET INDEX
S1 OF S6	COLUMN PLAN
S2 OF S6	TRUSS & BRACING PLAN, DETAIL A, DETAIL B, TRUSS TIE DETAIL
S3 OF S6	TRUSS DRAWING, PURLIN DETAIL
S4 OF S6	ELEVATIONS
S5 OF S6	SECTION A, DETAILS
S6 OF S6	SECTION B, SECTION C, SECTION D, DETAILS

CURRENT LUMBER SPECIFICATIONS (06-01-2013)		
SIZE	DESCRIPTION	BENDING VALUE Fb
2x4	NO. 2 SPF	1313 PSI
2x4	NO. 1 SYP	1500 PSI
2x4	2100F MSR SPF	2100 PSI
2x6	NO. 2 SPF	1138 PSI
2x6	NO. 1 SYP	1350 PSI
2x6	2100F MSR SPF	2100 PSI
2x6	2400 MSR SYP	2400 PSI
2x8	NO. 1 SYP	1250 PSI
2x8	2400 MSR SYP	2400 PSI
2x10	NO. 1 SYP	1050 PSI
2x10	2400 MSR SYP	2400 PSI
2x12	NO. 1 SYP	1000 PSI
2x12	2250F MSR SYP	2250 PSI
1 1/2"x1 1/4"	LAMINATED VENEER LUMBER	2800 PSI
3 1/2"x1 1/2"	GLU-LAM	1650 PSI
5 1/4"x1 1/2"	GLU-LAM	2400 PSI
5 1/4"x1 1/2"	GLU-LAM	2400 PSI



DESIGN AND EXPLANATORY NOTES

- ALL PLOT PLANS AND RELATED DETAILS SHALL BE PROVIDED BY OWNER UNLESS INCORPORATED AS PART OF THESE DRAWINGS.
- MORTON BUILDINGS GENERAL SPECIFICATIONS APPLY UNLESS INDICATED DIFFERENTLY ON SPECIFIC JOB DRAWINGS OR SUPPLEMENTAL INFORMATION.
- MINIMUM LIVE ROOF LOAD DESIGNS FOR CONSTRUCTION, MAINTENANCE, REPAIR, AND OTHER TEMPORARY LOADS PER SECTION 1607.11.2
 - ROOF PURLINS AND OTHER SECONDARY STRUCTURAL MEMBERS = 20 PSF
 - ROOF TRUSSES, HEADERS, COLUMNS AND OTHER PRIMARY STRUCTURAL MEMBER = 18 PSF
 - FOOTINGS = 18 PSF (DESIGNED FOR ROOF SNOW LOAD AND OTHER NON-TEMPORARY LOADS W/ APPROVAL FROM BUILDING OFFICIAL).
- NO ONE MAY ALTER ANY ENGINEERING ITEM UNLESS ACTING UNDER THE DIRECTION OF THE LICENSED / REGISTERED ENGINEER.
- THE PRECEDING SYMBOL IDENTIFIES ITEMS THROUGHOUT THE PLANS THAT ARE NOT PROVIDED BY MORTON BUILDINGS, INC. OR MORTON BUILDINGS' SUBCONTRACTORS AND ARE THE OWNER'S RESPONSIBILITY.

BUILDING DESIGN CRITERIA

USE GROUP	R-5
CONSTRUCTION TYPE	V8
MIN. LIVE ROOF LOAD DESIGN	SEE NOTE #3
ROOF SNOW LOAD *	18 PSF
WIND SPEED (V ₅₀)	90 MPH
BUILDING AREA	3456 SQ. FT.
GROUND SNOW LOAD	30 PSF

*ROOF SNOW LOAD CALCULATIONS

$$P_s = 0.7 \times C_e \times I \times P_g \times C_t \times C_s$$

$$C_e = \text{SNOW EXPOSURE FACTOR} = 1.0$$

$$I = \text{IMPORTANCE FACTOR} = 0.8$$

$$P_g = \text{GROUND SNOW LOAD} = 30 \text{ PSF}$$

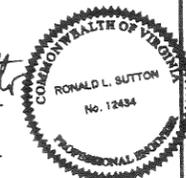
$$C_t = \text{THERMAL FACTOR} = 1.2$$

$$C_s = \text{ROOF SLOPE FACTOR} = 0.86$$

$$P_s = 0.7 \times 1.0 \times 0.8 \times 30 \times 1.2 \times 0.86 = 17.4 \text{ PSF}$$

I HEREBY CERTIFY THAT THE STRUCTURAL DESIGN FOR THIS BUILDING WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED/REGISTERED PROFESSIONAL ENGINEER.

Ronald L. Sutton
RONALD L. SUTTON, P.E.
MICHAEL L. MCCORMICK, P.E.
DATE: 10.08.14 REG.#



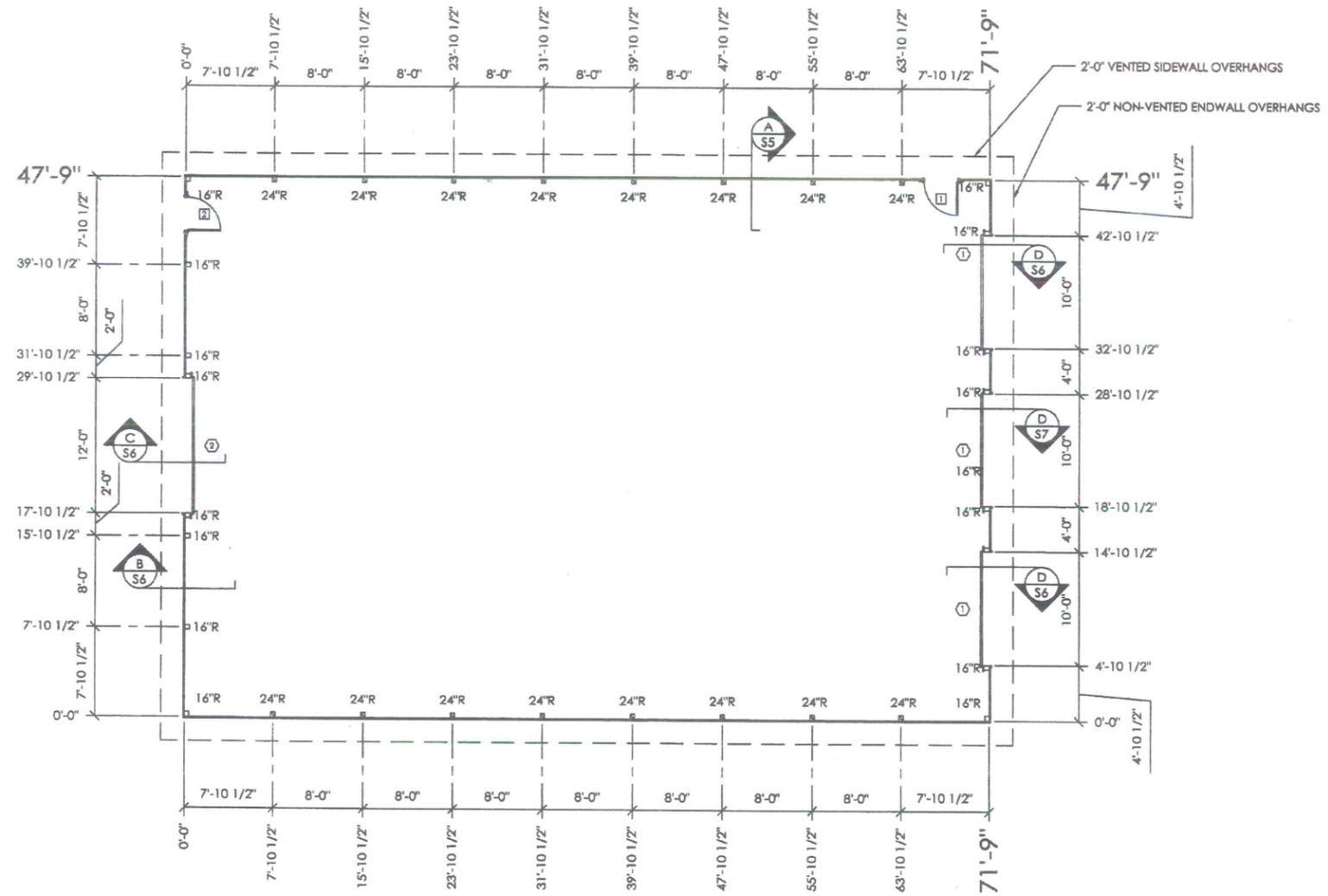
OFFICE:
ROANOKE, VA
JOB NO.
157-043778

JOHN BARR
BLACKSBURG, VA

VA ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
100 S. PERSHING P.O. BOX 110 MORTON, IL 61550
PHONE NUMBER: 309-263-4105
FAX: 309-263-4105

DRAWN BY:	KCONLEY
DATE:	9/21/2014
CHECKED BY:	V.DEVERA
DATE:	10/3/2014
REVISED DATE:	---

SCALE: AS NOTED
SHEET NO.
G1 of G1



COLUMN PLAN LEGEND

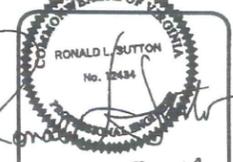
- - 3-2x6 LAMINATED COLUMN LOCATION
- - 3-2x6 LAMINATED COLUMN W/ 2x6 STIFFENER LOCATION
- ① - 3048 9-LITE TEMPERED GLASS IN LEAF WITH EMBOSSED CROSSBUCK FIBERSTEEL WALKDOOR(S), IN SWING, RIGHT HINGE WITH LOCKSET, SINGLE CYLINDER DEADBOLT
- ② - 3048 9-LITE TEMPERED GLASS IN LEAF WITH EMBOSSED CROSSBUCK FIBERSTEEL WALKDOOR(S), IN SWING, LEFT HINGE WITH LOCKSET, SINGLE CYLINDER DEADBOLT
- ③ - (3) 10'-2" x 9'-1" OVERHEAD DOOR(S) WITH CORNER ENCLOSURES ◆
- ④ - (2) 12'-2" x 12'-1" OVERHEAD DOOR(S) WITH CORNER ENCLOSURES ◆
- ⑤ - (2) 3'-6" X 3'-6" CUPOLA WITH "M" 30" WEATHERVANE NON-FUNCTIONAL
- ROOF STEEL FASTENED WITH STAINLESS STEEL SCREWS
- 16"R - 16" DIAMETER FOOTING WITH 8" THICK MINIMUM READY-MIX CONCRETE BELOW BOTTOM OF LOWER COLUMN WITH ADDITIONAL READY-MIX TO TOP OF 218M STILT (9"); PLACE CONCRETE BELOW AND ABOVE BOTTOM OF LOWER COLUMN IN ONE OPERATION.
- 24"R - 24" DIAMETER FOOTING WITH 10" THICK MINIMUM READY-MIX CONCRETE BELOW BOTTOM OF LOWER COLUMN WITH ADDITIONAL READY-MIX TO TOP OF 224M STILT (9"); PLACE CONCRETE BELOW AND ABOVE BOTTOM OF LOWER COLUMN IN ONE OPERATION.

COLUMN PLAN

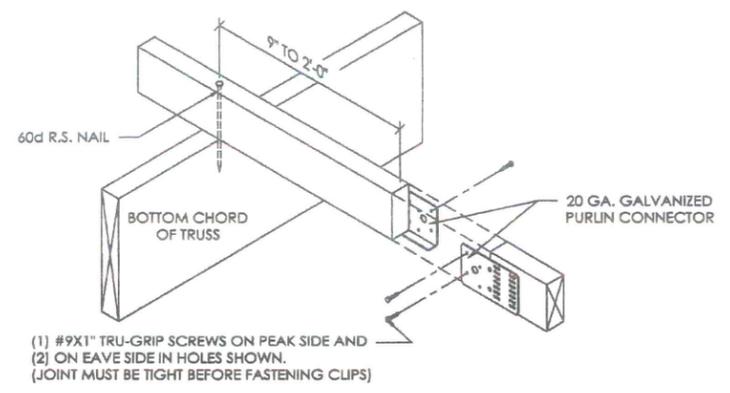
ROUGH OPENING SCHEDULE		
UNIT SYMBOL FROM LEGEND	WIDTH	HEIGHT
①	38 1/4"	81"
②	38 1/4"	81"



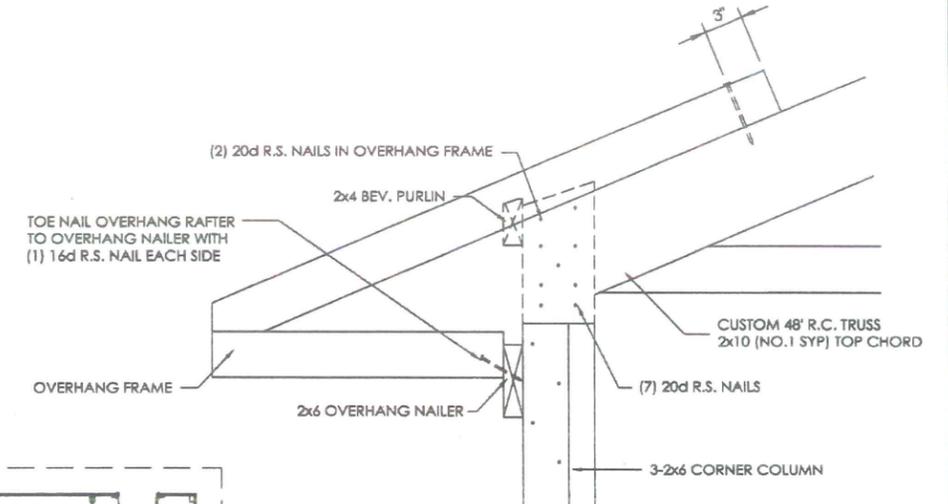
DRAWN BY:	KCONLEY
DATE:	9/21/2014
CHECKED BY:	V.DEVERA
DATE:	10/3/2014
REVISED DATE:	—



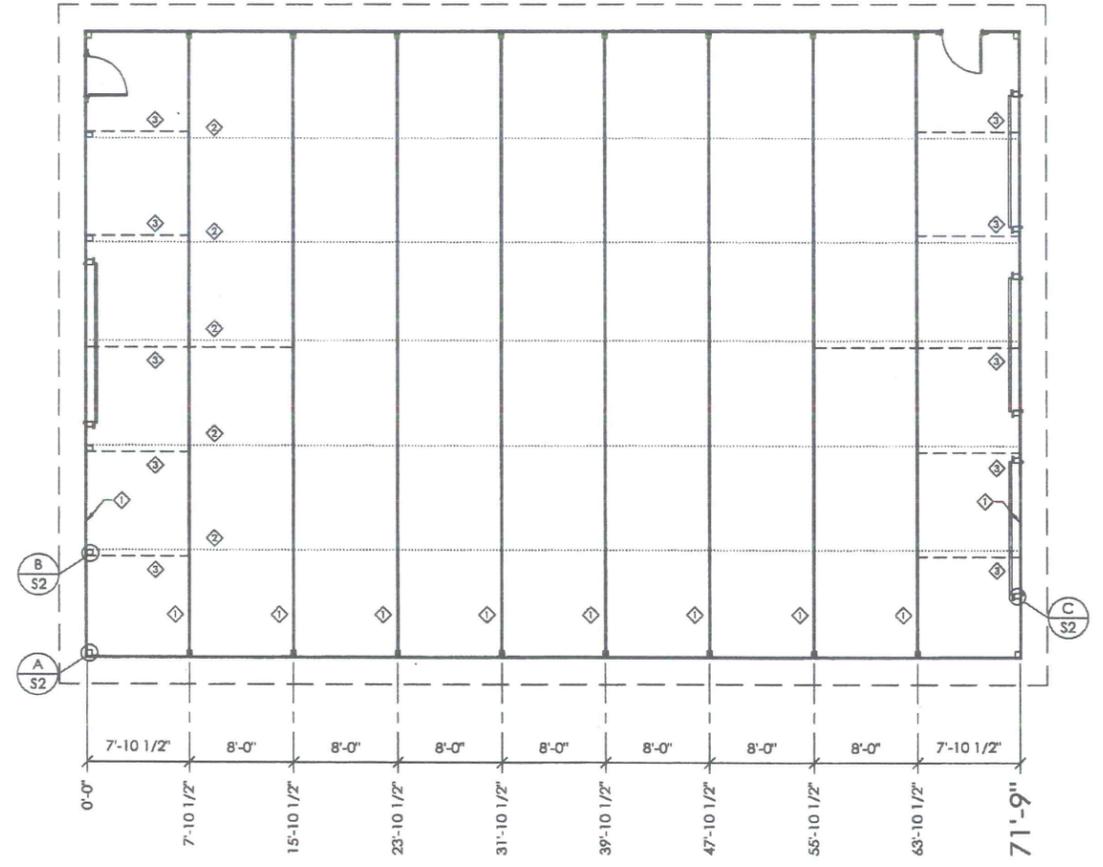
10.08.14



2x4 TRUSS TIE DETAIL



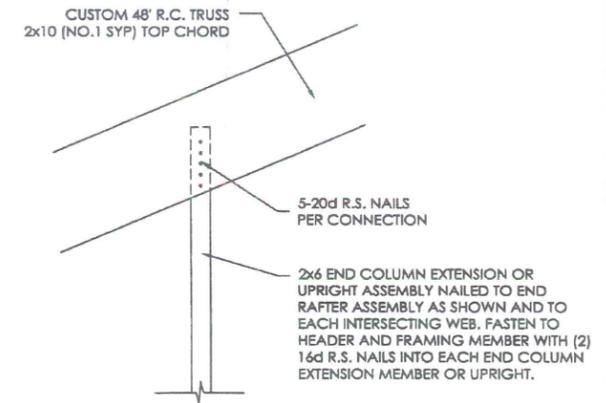
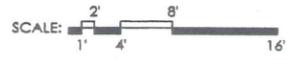
DETAIL A
SCALE: 1 1/2" = 1'-0"



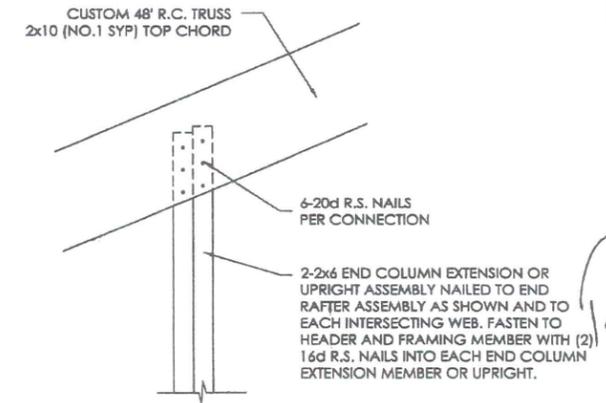
TRUSS/BRACING PLAN LEGEND

- ◇ - 48' CUSTOM TRUSSES @ 8'-0" O.C.
- ◇ - 2x4 TRUSS TIES @ 8'-0" O.C.
- ◇ - 2x6 DIAGONAL END BRACES @ 8'-0" O.C.

TRUSS/BRACING PLAN



DETAIL B
SCALE: 1 1/2" = 1'-0"

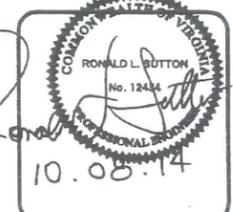


DETAIL C
SCALE: 1 1/2" = 1'-0"

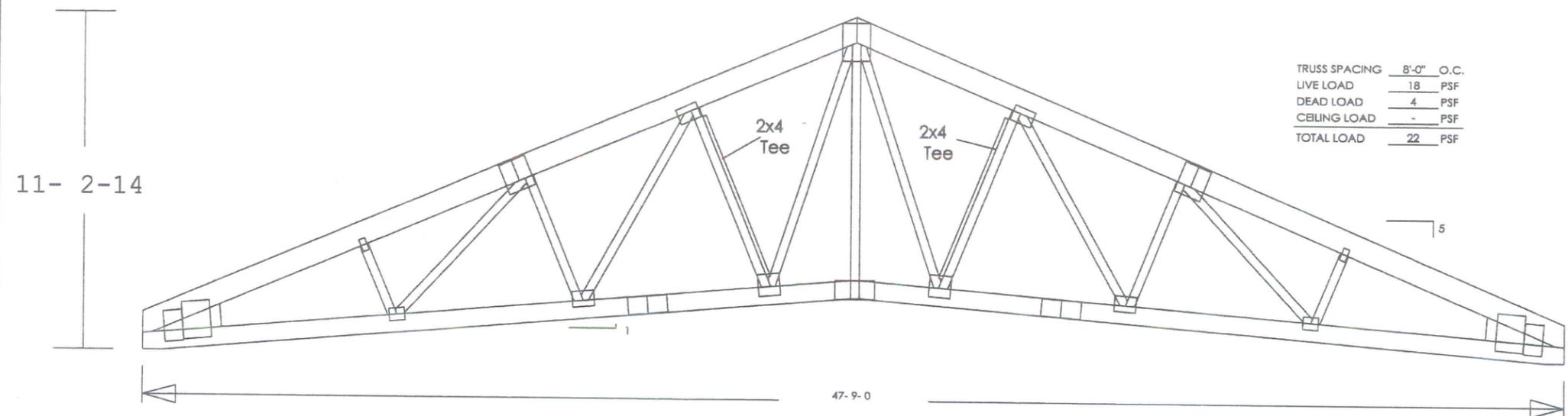
JOHN BARR
BLACKSBURG, VA

VA ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
 100 S. PERSHING P.O. BOX 110 MORTON, IL 61550
 PROF. CORP # 0405001185
 PHONE NUMBER: 309-263-4105

DRAWN BY:	KCONLEY
DATE:	9/21/2014
CHECKED BY:	V.DEVERA
DATE:	10/3/2014
REVISED DATE:	—

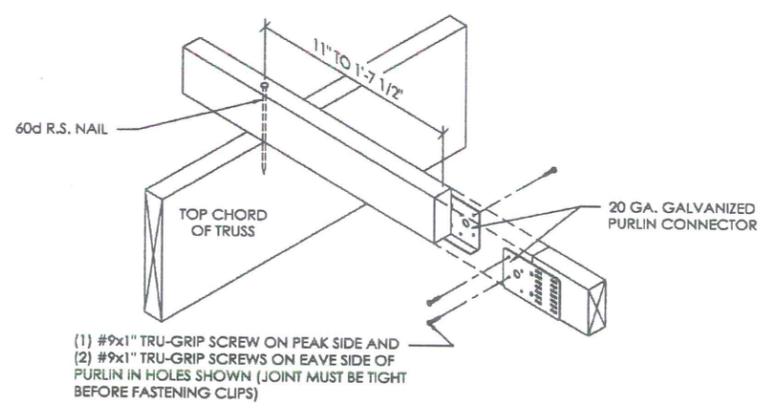


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TRUSS SPACING	8'-0"	O.C.
LIVE LOAD	18	PSF
DEAD LOAD	4	PSF
CEILING LOAD	-	PSF
TOTAL LOAD	22	PSF

48' CUSTOM R.C. TRUSS
SCALE: 3/8" = 1'-0"



(1) #9x1" TRU-GRIP SCREW ON PEAK SIDE AND
(2) #9x1" TRU-GRIP SCREWS ON EAVE SIDE OF
PURLIN IN HOLES SHOWN (JOINT MUST BE TIGHT
BEFORE FASTENING CLIPS)

2x4 BUTTED PURLIN DETAIL
(PURLIN CONNECTED WITH 60D R.S. NAIL)
SCALE: 1 1/2" = 1'-0"

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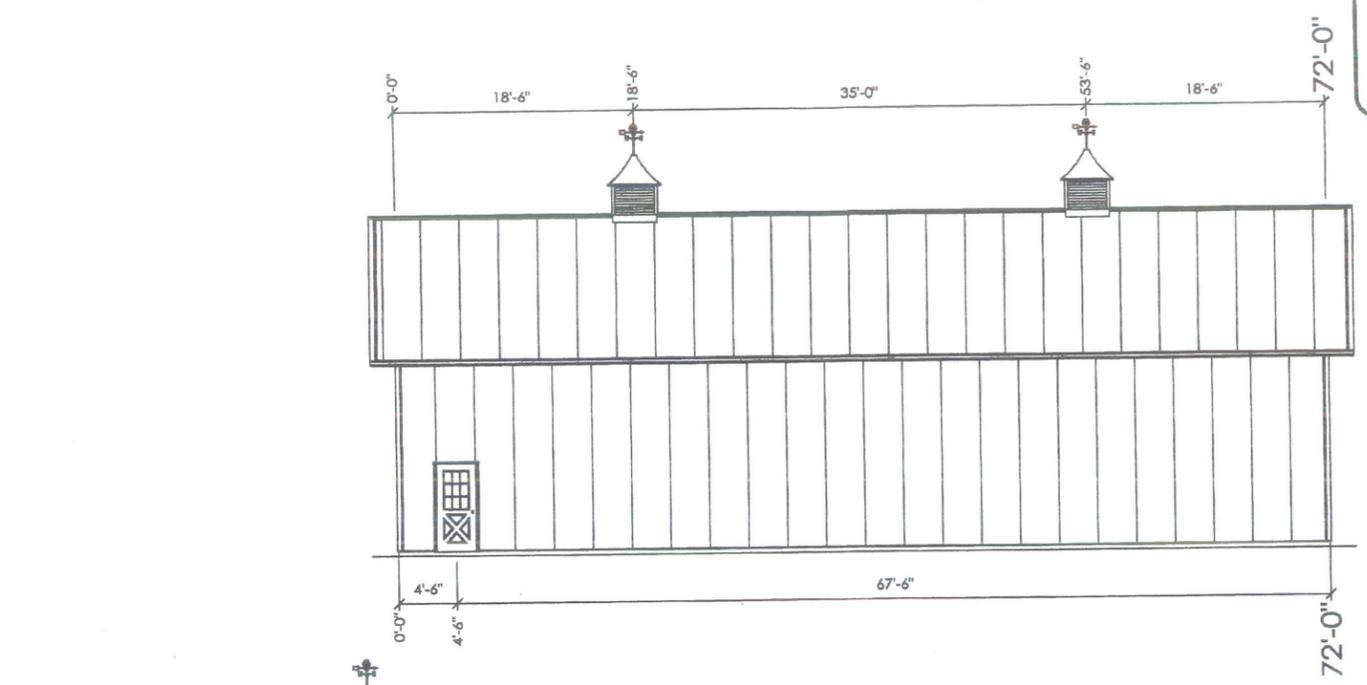
RONALD L. SUTTON
No. 12434
10.03.14

SCALE: AS NOTED
SHEET NO.
S3 OF S6

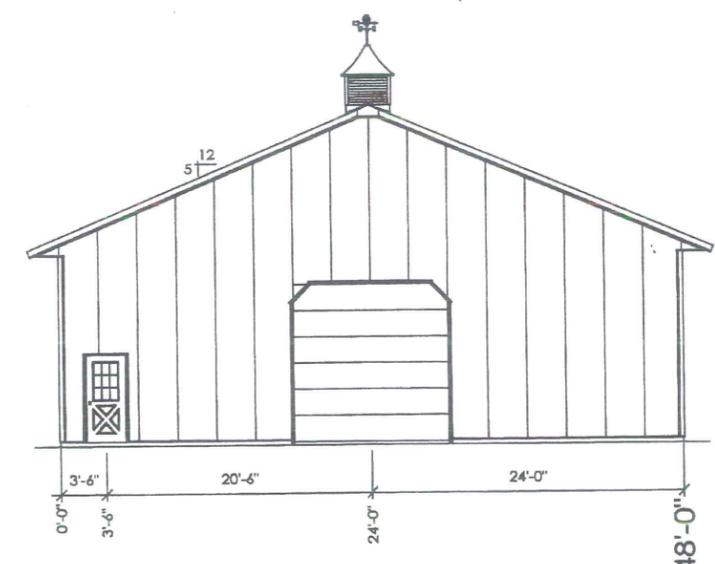
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JOB NO.
157-043778

DESIGN AND EXPLANATORY NOTES

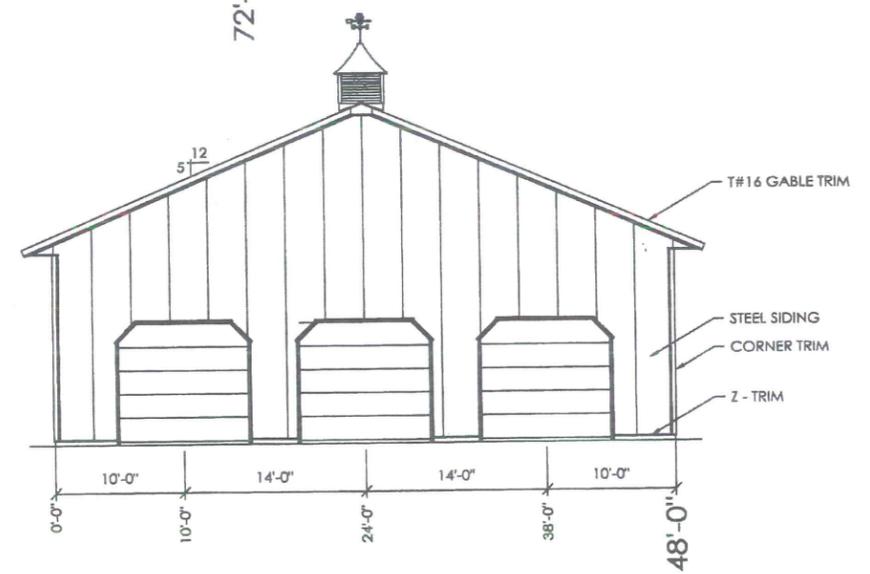
1.) EXTERIOR DOOR AND WINDOW LOCATIONS ARE TAKEN FROM THE EXTERIOR FACE OF THE NAILERS AND ARE TO THE CENTER OF THE DOOR AND WINDOW UNITS. VERIFY ALL DOOR, WINDOW, SKYLIGHT AND SIDELIGHT LOCATIONS WITH THE OWNER.



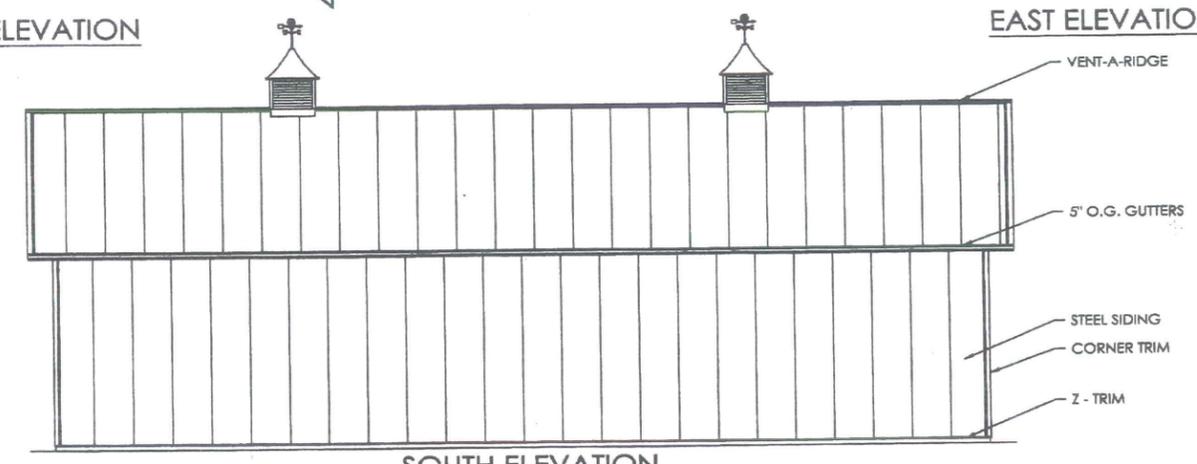
NORTH ELEVATION



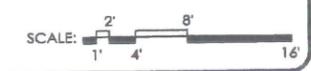
WEST ELEVATION



EAST ELEVATION



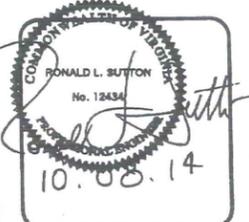
SOUTH ELEVATION



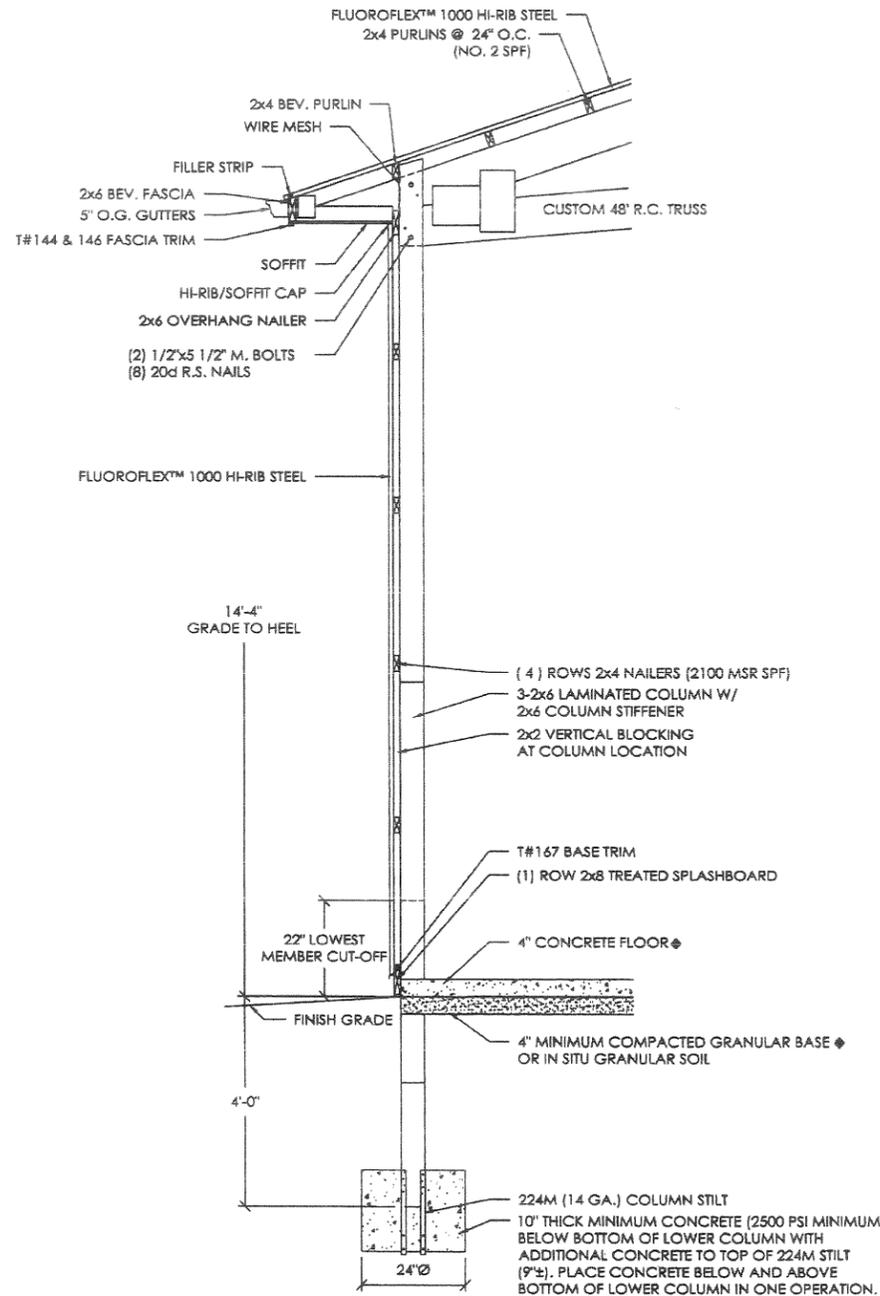
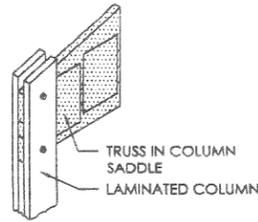
JOHN BARR
BLACKSBURG, VA

VA ALLIED DESIGN ARCHITECTURAL & ENGINEERING GROUP, P.C.
100 S. PERSHING P.O. BOX 110 MORTON, IL 61550
PHONE NUMBER: 309-263-4105

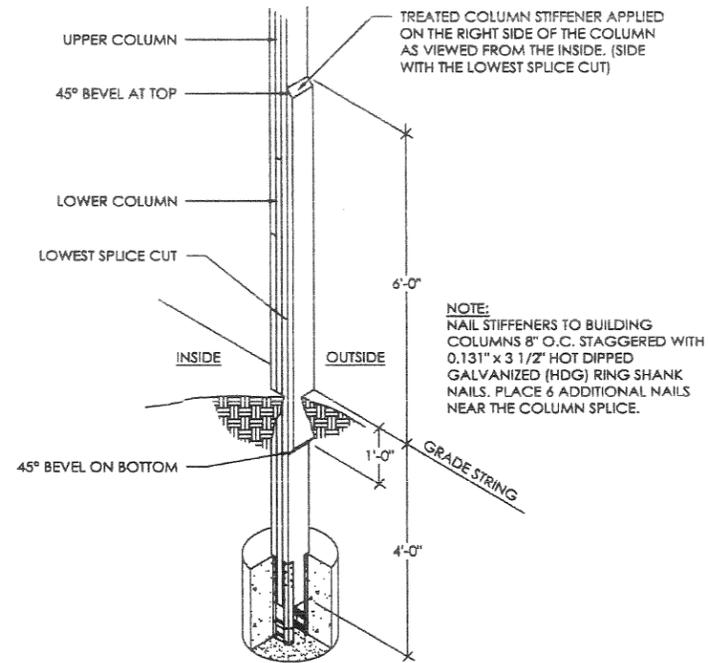
DRAWN BY:	KCONLEY
DATE:	9/21/2014
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REVISED DATE:	—



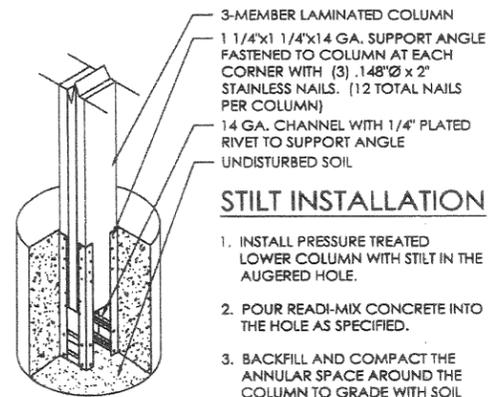
SCALE: AS NOTED
SHEET NO.
S4 OF S6



SIDEWALL SECTION A
SCALE: 1/2" = 1'-0"



COLUMN SPLICE STIFFENER DETAIL



STILT ISOMETRIC

DESIGN AND EXPLANATORY NOTES

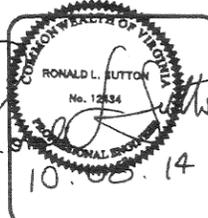
- 1.) FOOTINGS ARE DESIGNED FOR A 2000 PSF SOIL BEARING CAPACITY. LOCAL CONDITIONS MAY REQUIRE MODIFICATIONS.
- 2.) CONCRETE FLOOR NOTES:
 - a. 3500 PSI, 5 1/2 BAG MIX CONCRETE
 - b. SLOPE GRADE AWAY FROM BUILDING @ 1" PER FOOT FOR A MINIMUM DISTANCE OF 10' PLUS OVERHANG WIDTH
 - c. A VAPOR RETARDER IS NOT MANDATED PER IBC SECTION 1910 EXCEPTION 3. UNLESS THE FLOOR WILL BE COVERED BY MOISTURE SENSITIVE FLOORING MATERIALS OR IMPERMEABLE FLOOR COATINGS OR WHERE THE FLOOR WILL BE IN CONTACT WITH ANY MOISTURE SENSITIVE EQUIPMENT OR PRODUCT
 - d. CONTRACTION JOINTS UNIFORMLY SPACED 12' O.C. OR LESS

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SCALE: AS NOTED
SHEET NO.
S5 of S6